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Project Manager: Matt Waddicor
Author: Elli Winterburn

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Executive Summary

This Heritage Statement examines potential impacts on heritage assets arising from the Preston & South Ribble Areas 1 and 2 FRMS (Flood Risk Management Scheme) works (hereafter 'the Scheme') on the River Ribble, within and in the vicinity of Avenham Conservation Area, Avenham and Miller Parks, a pair of linked historic public parks (heritage assets) sited to the south / south-west of Preston City Centre which are both Grade II* Registered Parks and Gardens (RPGs).

There are cultural heritage constraints in respect of the Scheme in relation to the requirement for Listed Building Consent (LBC) for works where the Scheme will have physical impacts to the Grade II Listed Viaduct Over River Ribble (1218908). There may also be physical impacts to a Scheduled Monument, Penwortham Old Bridge (1210865; also a Grade II Listed Building) which may require Scheduled Monument Consent (SMC) or Listed Building Consent (LBC). The Scheme would also impact on the Grade II* RPG Miller Park (1001450) and Avenham Conservation Area.

However, no significant (moderate to very large) temporary or permanent effects on the special architectural and historical interest of any of 15 designated assets assessed in this Heritage Statement are predicted.

It should also be noted that Avenham and Miller Parks (RPGs 1 and 2) are and have always been sited on the flood plain of the River Ribble and do by this very fact periodically experience some flooding and the Scheme is not intended to change this historical and topographical fact regarding the two Registered Parks.

Acronyms and Abbreviations

CA	Conservation area
CAA	Conservation Area Character Appraisal
CABE	Commission for Architecture and the Built Environment
COI	Certificate of Immunity
DBA	Desk Based Assessment
DMRB	Design Manual Roads and Bridges
FAS	Flood Alleviation Scheme
FRA	Flood Risk Assessment
FRMS	Flood Risk Management Scheme
HER	Historic Environment Record
LBC	Listed Building Consent
LPA	Local Planning Authority
NHLE	National Heritage List for England
NPPF	National Planning Policy Framework
OS	Ordnance Survey
PCC	Preston City Council
RPG	Registered Park and Garden
SMC	Scheduled Monument Consent
SWMP	Strategic Assessment Surface Water Management Plan
WCML	West Coast Main Line

1. Introduction

1.1 General

This Heritage Statement examines potential impacts on heritage assets arising from Preston & South Ribble FRMS: Areas 1 and 2 (Flood Risk Management Scheme) works (hereafter ‘the Scheme’) on the River Ribble, in the vicinity of Avenham and Miller Parks, a pair of linked historic public parks (heritage assets) sited to the south /southwest of Preston City Centre. Figure 1 shows the general location in relation to Preston. Figure 2 shows the redline boundary for Areas 1 and 2 plus the location of future Areas 3,4 and 5.

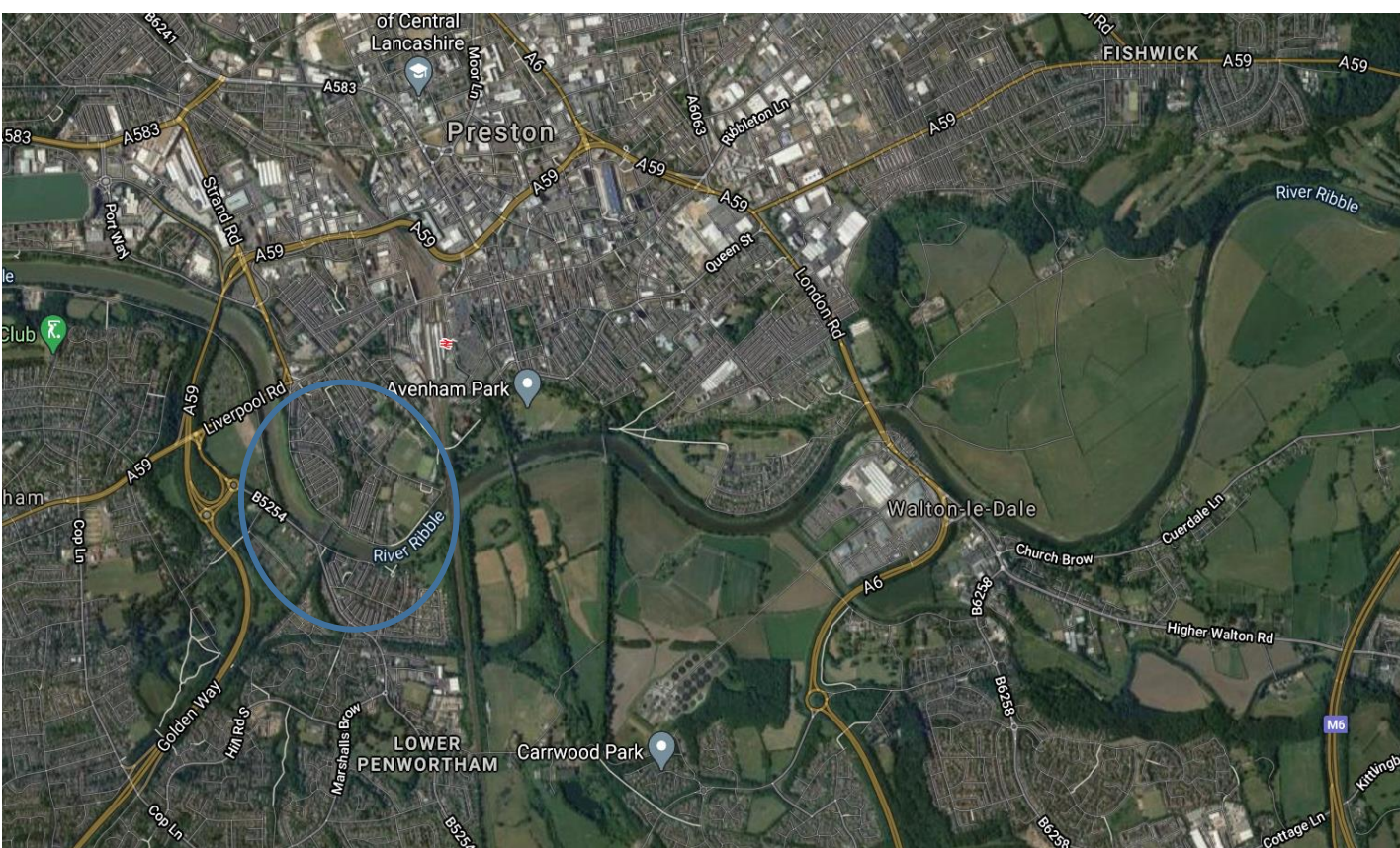


Figure 1 General location of the proposed works in relation to Preston.

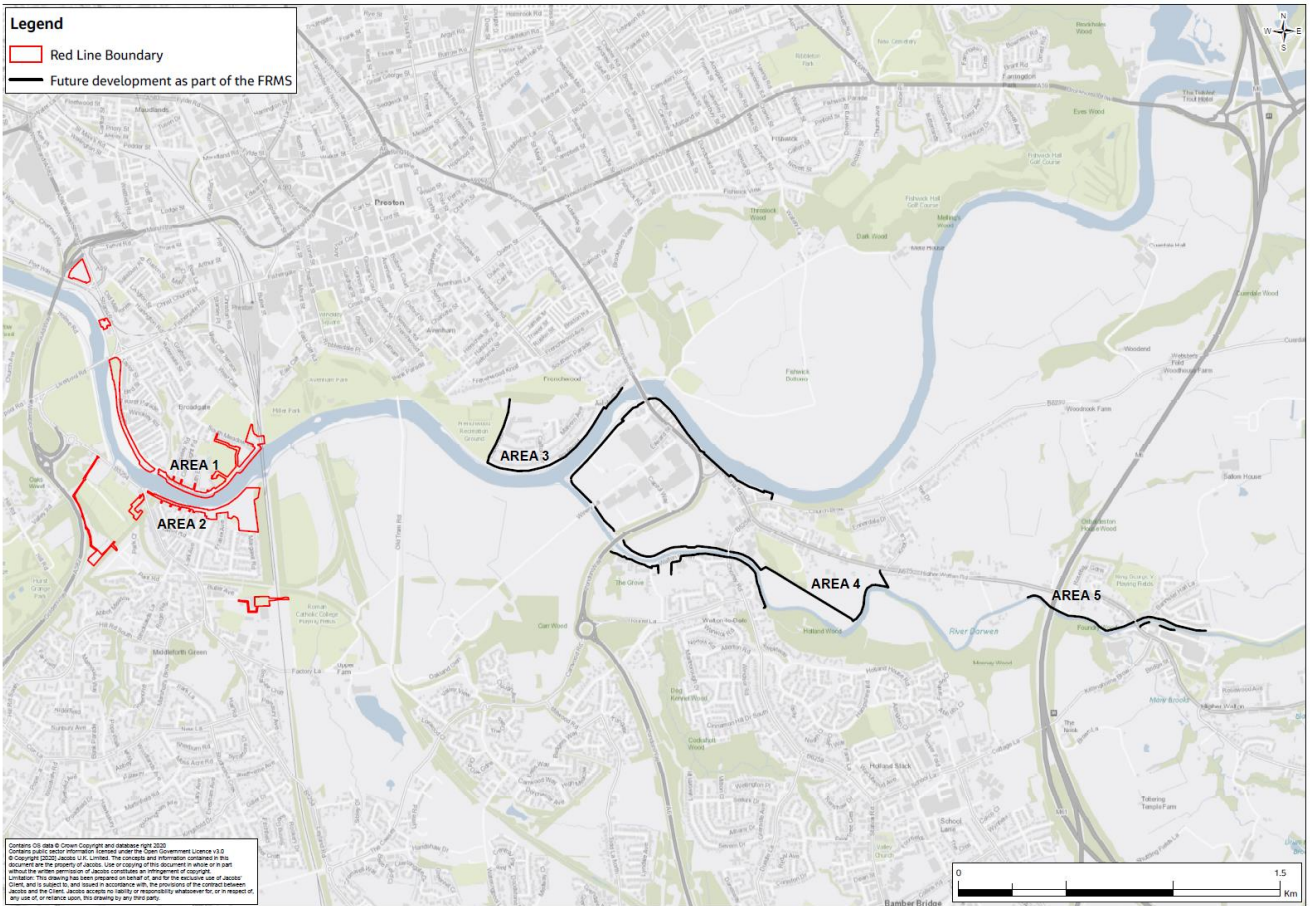


Figure 2 Location of the five areas of the Preston and South Ribble Flood Risk Management Scheme

A heritage asset is defined by the National Planning Policy Framework (NPPF) as “a building, monument, site, place or landscape identified as having a degree of significance meriting consideration in planning decisions, because of its heritage interest”.

Heritage assets include designated assets (World Heritage Sites, Scheduled Monuments, Listed Buildings, Conservation Area, Registered Parks and Gardens, Registered Battlefields and Registered Historic Wrecks) and non-designated assets identified by the Local Planning Authority (for example: locally listed buildings, archaeological sites and monuments and historic landscapes).

'Setting' of a heritage asset is defined in NPPF, Annex 2: Glossary as "the surroundings in which a heritage asset is experienced. Its extent is not fixed and may change as the asset and its surroundings evolve. Elements of a setting may make a positive or negative contribution to the significance of an asset, may affect the ability to appreciate that significance or may be neutral.

This report forms the requirement under Paragraph 189 of the NPPF for the applicant "...to describe the significance of any heritage assets affected, including any contribution made by their setting. The level of detail should be proportionate to the assets' importance and no more than is sufficient to understand the potential impact of the proposal on their significance." The cultural heritage desk-based assessment of the Scheme (Mott MacDonald, 2019, p. 63) also contains a recommendation to conduct a consultation "... with PCC and SRBC Conservation Officers and Historic England once the proposed Scheme design has been finalised to discuss the impact to the setting of the designated assets and conservation areas prior to the submission of the planning application. Detailed design of the elements of the FRMS should be undertaken with input from these heritage specialists to ensure that any heritage assets and their settings are appropriately protected, and elements of the Scheme are in keeping with the conservation areas".

Designated heritage assets with the potential to be impacted on by the Scheme, either through physical impacts or impacts on their settings, were scoped into the Heritage Statement and comprise one Conservation Area, two Grade II* Registered Parks and Gardens, one Scheduled Monument (which is also a Grade II Listed building) and 11 Grade II Listed buildings (15 assets in total).

As such, the Scheme has the potential to affect assets of known heritage significance.

1.2 Proposed Works

1.2.1 Overview

The Preston & South Ribble FRMS seeks to reduce the high level of flood risk to approximately 4,778 properties including over 500 businesses along the Rivers Ribble and Darwen, to the south of Preston. The scheme is mainly a combination of concrete walls and earth embankments, and is split into five areas:

Area 1: Riversway and Broadgate

Located on the right (north) bank of the River Ribble, to the south of the city centre. This area is approximately 1.2km long, extending from the West Coast Main Line (WCML), downstream to Liverpool Road Bridge. Proposed defences comprise:

- Replacement of the existing concrete wall, with a new concrete wall, between Liverpool Road bridge and Penwortham Old Bridge;
- Replacement of the existing concrete wall, with a new concrete wall with glass panels on top, along Riverside between Penwortham Old Bridge and Miller Gardens Apartments;
- A new flood gate located in front of Miller Gardens Apartments; The gate is a permanent structure and will be held in an open position against the wall until it is required to be used during flood conditions.
- A new concrete wall along the boundary of the BAC/EE Preston Social and Sports Association cricket pitch between Miller Gardens Apartments and Ribble Cottage;
- A new flood gate located close to Ribble Cottage;
- Replacement of the existing concrete wall, with a new concrete wall with glass panels on top, running on the river side of the road between Ribble Cottage and the railway viaduct;
- A concrete wall and two flood gates at the entrance to the western end of the West Coast Main Line railway bridge; and
- In addition, three lengths (82m, 247m and 151m) of the existing river bank from just downstream of Old Penwortham bridge to the WCML will be stabilised with a blockwork (Redi-Rock) revetment.

Area 2: Lower Penwortham

Located on the left (south) bank of the River Ribble, to the south of the city centre. This area is approximately 0.8km long, extending from the West Coast Main Line (WCML), downstream to Penwortham Old Bridge, and turning inland to tie into the abandoned railway embankment. Proposed defences comprise:

- A new concrete wall along the boundary of the Penwortham Methodist Church between the church and the allotments. In order to maintain security of the allotments, fencing will be installed along the top of the new wall.

- A new ramp to raise existing road levels at the entrance to Penwortham Methodist Church and a up and over ramp along the Golden Way Footpath between the Penwortham Methodist Church and the disused railway embankment.
- Replacement of the existing concrete wall, with a new concrete wall with glass panels on top, along Riverside Road extending upstream from the Cadent Gas pipe bridge;
- New concrete wall along the river front linking Riverside Road to Ribble Sidings. A blockwork retaining wall 70m in length (Redi-Rock) and inclined embankment will be constructed to stabilise the existing bank (**Error! Reference source not found.**3). The Redi-Rock will be seeded with tussocky grasses (above water level) and Phragmites (below water level) to encourage green niches and habitat creation. **Error! Reference source not found.** and **Error! Reference source not found.** show the length of encroachment into the Ribble estuary channel and the area of intertidal soft sediment (mudflat) lost beneath the works. Across both Areas 1 and 2 the total area of mudflat lost is 1,564.32m²;
- An earth embankment along the river front of Ribble Sidings, replacing the existing embankment;

In addition, there are two further isolated sections of defence:

- A short earth embankment in the gap in the abandoned railway embankment, at the access point to Penwortham Residential Park; and
- Filling in a culvert under the WCML, some 500m inland from the River Ribble.

1.3 Area 3: Frenchwood

Located on the left (south) and right (north) banks of the River Ribble, to the east of the city centre, upstream of the confluence with the River Darwen. This area comprises three sections of defence:

- 1.1km of earth embankment and concrete wall running along the Esplanade, and replacing or raising existing wall and embankment along the Boulevard in Frenchwood, on the north bank;
- Raising 0.5km of existing earth embankment and concrete wall between the confluence of the Ribble and Darwen and London Road Bridge on the south bank; and
- Replacement of the existing concrete wall (0.8km), with some sections of glass panels on top, between London Road Bridge and Kings Croft.

1.4 Area 4: Walton-le-Dale

Located on the right (east) and left (west) banks of the River Darwen, through Walton-le-Dale to the south of the city centre:

- On the right bank proposed defences comprise predominantly earth embankments, extending some 1.9km upstream from the confluence with the Ribble. Flood walls locally, only in close proximity of buildings;
- On the left bank, proposed defences comprise a combination of concrete wall, earth embankment and road ramps extending approximately 0.8km upstream of the confluence.

1.5 Area 5: Higher Walton

Located on the right (east) and left (west) banks of the River Darwen, at Higher Walton, extending upstream from the M6 motorway:

- On the right bank proposed defences comprise a combination of concrete walls and earth embankments, extending some 1.0km upstream from the motorway;
- On the left bank, proposed defences comprise predominantly concrete or sheet pile walls, extending approximately 0.5km upstream of the Cann Bridge.

The planning application this Heritage Statement supports relates to Areas 1 and 2; Riversway and Broadgate (1) and Lower Penwortham (2).

1.6 Scheme Justification

The main objective of the Scheme is to reduce the high level of flood risk to 4,778 properties (which includes 517 businesses) in Preston & South Ribble. The existing Standard of Protection (SoP) is approximately 2.5% (1 in 40 year) Annual Exceedance Probability (AEP). The Scheme aims to achieve a 1 in 75 year standard, factoring-in the predicted 2080 Climate Change levels. However initially the Scheme will provide above 1 in 100 year SoP until predicted climate change effects are realised.

2. Legislation and Policy

2.1 Legislative Context

Scheduled Monuments are, of national importance and are protected by law under the Ancient Monuments and Archaeological Areas Act 1979. It is a criminal offence to damage a Scheduled Monument, and consent (known as Scheduled Monument Consent) must be obtained from the Secretary of State for Culture, Media and Sport (DCMS) before any works affecting a Scheduled Monument may take place.

Listed Buildings are protected under the Planning (Listed Buildings and Conservation Areas) Act 1990, and are recognised to be of special architectural or historic interest. Under the Act, planning authorities are instructed to have special regard to the desirability of preserving a Listed Building, its setting, or any features of special architectural or historic interest which it possesses (Planning (Listed Buildings and Conservation Areas) Act Section 66(1)). Designation as a Listed Building confers additional controls over demolition and alteration, including the requirement for Listed Building Consent to be gained before undertaking such works.

Under Section 69 of the Planning (Listed Buildings and Conservation Areas) Act 1990, local planning authorities have a duty to designate 'areas of special architectural or historic interest the appearance of character of which it is desirable to preserve or enhance' as Conservation Areas.

Under powers conferred on Historic England under the Historic Buildings and Ancient Monuments Act 1953 (as amended), parks and gardens which are assessed by Historic England to be of special historic interest may be recorded on the Register of Historic Parks and Gardens. Inclusion of a site on the Register does not confer any additional legal protection of the site, but makes the effect of proposed development on the sites and their settings a material consideration in the determination of planning applications. Local Authorities may also develop specific policies to address RPGs as part of their Local Plan.

The Enterprise and Regulatory Reform Act 2013 is deregulatory legislation which allows greater flexibility to local authorities in respect of Listed Building Consent. It also allows greater definition of a Listed Building by allowing the exclusion of attached buildings and structures and those within the curtilage of the principal Listed Building from protection. It states that a certificate of immunity from listing may be applied for at any time, and it replaced Conservation Area Consent with planning permission.

2.2 National Planning Policy Framework

In March 2012, UK Government published the *National Planning Policy Framework* (NPPF), which replaced the *National Planning Policy Statements* (PPS) and *Planning Policy Guidance* (PPG). The NPPF has subsequently been updated in 2017 and most recently in 2019 and in its latest format NPPF sets out a presumption in favour of sustainable development and a key dimension of 'sustainability' is defined as '*...protecting and enhancing our...historic environment*' (MHCLG, 2019a, para. 8).

The NPPF recognises the historic environment as comprising all aspects of the environment which have resulted from the interaction between people and places through time (MHCLG, 2019a, Annex 2: Glossary). The elements of the historic environment that are considered to hold significance are called heritage assets (MHCLG, 2019a, Annex 2: Glossary). Significance is defined by the NPPF as '*the value of a heritage asset to this and future generations because of its heritage interest*'. This significance or value may be related to a heritage asset's archaeological, architectural and artistic or historic elements and can derive not only from its physical presence but also from its setting (MHCLG, 2019a, Annex 2: Glossary).

The NPPF details the main policies regarding heritage assets in Section 16, *Conserving and enhancing the historic environment* (MHCLG, 2019a). Under paragraph 189, applicants for planning permission are required to describe the value of any heritage assets affected by a development, including any contribution made by their setting, at a

level of detail proportionate to the assets' importance and sufficient to understand the potential impact of the proposal (positive and negative) on their value (MHCLG, 2019a, para. 189); this information is provided in a heritage statement.

The NPPF recognises that heritage assets are an irreplaceable resource which should be conserved in a manner appropriate to their value. Under paragraph 197, the effect of an application on the value of a non-designated heritage asset should be taken into account in determining the application, making a balanced judgement with regard to the scale of any harm or loss and the value of the heritage asset (MHCLG, 2019, para. 197).

2.2.1 Planning Practice Guide

Guidance on the implementation of the NPPF is provided in the revised *Planning Practice Guide* (PPG) (DCLG *et al*, 2014). The PPG states that heritage assets may be affected by direct physical change or by change in their setting. Being able to properly assess the nature, extent and value of a heritage asset, and the contribution of its setting, is very important to understanding the potential impact and acceptability of development proposals (MHCLG, 2019b, para. 9).

PPG states that whether a proposal causes substantial harm will be a judgment for the decision-taker, having regard to the circumstances of the case and the policy in the NPPF (MHCLG, 2019b, para. 18). As substantial harm is a high test, the PPG states it may not arise in many cases and it is the degree of harm to the asset's value rather than the scale of the development that is to be assessed (MHCLG, 2019b, para. 18). The harm may arise from works to the asset or from development within its setting. While the impact of total destruction is obviously substantial harm, partial destruction is likely to have a considerable impact but, depending on the circumstances, it may still be less than substantial harm or even not harmful at all. Similarly, works that are moderate or minor in scale are likely to cause less than substantial harm or no harm at all although even some minor works have the potential to cause substantial harm (MHCLG, 2019b, para. 18).

PPG states that local planning authorities may identify non-designated heritage assets and in some areas, these heritage assets may be identified as 'locally listed' (MHCLG, 2019b, para. 40). These identified heritage assets may include buildings, monuments, sites, places, areas or landscapes which have a degree of value meriting consideration in planning decisions but which are not formally designated heritage assets (MHCLG, 2019b, para. 40).

PPG states that public benefits may follow from many developments and could be anything that delivers economic, social or environmental progress as described in the NPPF (MHCLG, 2019b, para. 20). Any public benefits should flow directly from the proposed development and they should be of a nature or scale to be of benefit to the public at large and should not just be a private benefit (MHCLG, 2019b, para. 20). However, benefits do not always have to be visible or accessible to the public in order to be genuine public benefits.

A substantial majority of buildings have little or no heritage significance and thus do not constitute heritage assets (MHCLG, 2019b, para. 39). PPG states that 'only a minority have enough heritage interest for their significance to be a material consideration in the planning process' (MHCLG, 2019b, para. 39).

Public benefits may include some or all of the following:

- Sustaining or enhancing the significance of a heritage asset and the contribution of its setting;
 - Reducing or removing risks to a heritage asset; and
 - Securing the optimum viable use of a heritage asset in support of its long term conservation
- (MHCLG, 2019b, para. 20).

2.2.2 Historic England Good Practice Advice

In April 2015 Historic England took over the major functions of English Heritage. Historic England has produced new guidance on the interpretation and implementation of the NPPF and PPG with regard to the historic environment in the form of:

- *Historic Environment Good Practice Advice in Planning Note 2: Managing Significance in Decision-Taking* (Historic England, 2015).
- *Historic Environment Good Practice Advice in Planning Note 3: The Setting of Heritage Assets* (Historic England, 2017).
- *Statements of Heritage Significance: Analysing Significance in Heritage Assets* (Historic England Advice Note 12) (Historic England, 2019)

Substantial harm is considered a high test which does not arise in many cases. In those cases where harm or loss is considered likely to be substantial, the local planning authority will need to consider the relevant NPPF tests (Historic England, 2015, para. 27).

2.3 Regional and Local Policy

The development management process seeks to implement these National requirements through promotion of good design and managed change. In this regard the relevant local policy in Preston includes the policies contained in Central Lancashire Core Strategy, and Preston's Local Plan. The Scheme is located outside Preston's City Centre Area Action Plan.

Central Lancashire Core Strategy

The Core Strategy was prepared jointly by Preston City Council, Chorley Council and South Ribble Borough Council and was adopted in July 2012. The purpose of the Core Strategy is to set the overall strategic direction for planning the area over the period 2010 to 2026, in line with national policies. A key part of that direction is establishing where major development and other forms of investment should be located so as to be sustainable, meet local needs and take full advantage of opportunities. Identification of sites where specific proposals and policies will apply are presented in the Local Plan and City Centre area action plan for Preston.

Protecting and Conserving Heritage Assets

10.4 Central Lancashire boasts a rich and varied built environment, which includes landscapes, sites, structures and buried remains of significant historic and architectural interest. The individual heritage assets date from prehistoric and Roman times to the present day, although much of the more visible buildings and townscapes stem from the recent industrial past. Heritage assets make a valuable contribution to the areas economic and social wellbeing as well as providing a focus for heritage led regeneration.

10.5 Listed Buildings and Scheduled Ancient Monuments are protected by legislation and English Heritage keep an up to date register of all listed buildings and scheduled ancient monuments and those at risk. Alongside these exist a number of designated heritage assets including Registered Parks and Gardens, Conservation Areas and other areas of historic interest that are protected through the planning process.

10.6 Central Lancashire has over 1,000 Listed Buildings, 26 Conservation Areas, 17 Scheduled Ancient Monuments and 13 Parks and Gardens of Historical Interest. As well as these designated heritage assets the Lancashire Historic Environment Record lists over 3,500 other known assets, some of which are of particular local interest, and merit increased protection by means of a Local List.

Policy 16: Heritage Assets

Protect and seek opportunities to enhance the historic environment, heritage assets and their settings by:

- a) Safeguarding heritage assets from inappropriate development that would cause harm to their significances.*
- b) Supporting development or other initiatives where they protect and enhance the local character, setting, management and historic significance of heritage assets, with particular support for initiatives that will improve any assets that are recognised as being in poor condition, or at risk.*
- c) Identifying and adopting a local list of heritage assets for each Authority.*

Preston's Local Plan

The Preston Local Plan 2012-26 (Site Allocations and Development Management Policies (DPD) was adopted on 2 July 2015.

The role of the Preston Local Plan is twofold:

To identify the scale of development and allocate sites to meet the development needs of Preston. This will achieve the vision for growth as outlined in the Central Lancashire Core Strategy.

To identify key local issues and provide a set of policies to manage change. These will then be used by decision makers to determine planning applications. These are known as development Management (DM) Policies.

Together with the Central Lancashire Core Strategy adopted July 2012, it forms the development plan for all parts of the City excluding the City Centre (which is covered by the City Centre Area Action Plan).

Policy EN8 – Development and Heritage Assets

A) Proposals affecting a heritage asset or its setting will be permitted where they: i) accord with national policy on the historic environment and the relevant Historic England guidance; ii) take full account of the information and guidance in the Council's Conservation Area Appraisals and Management Plans and other relevant policy guidance on the historic environment; iii) make a positive contribution to the character and local distinctiveness through high quality new design that responds to its context; iv) act as a catalyst for the regeneration of the area in accordance with the Council's objectives for regeneration; v) are accompanied by a satisfactory Heritage Statement that fully explains the impact of the proposal on the significance of the heritage asset and; vi) sustain, conserve and, where appropriate, enhance the significance, appearance, character and setting of the heritage asset itself and the surrounding historic environment and where they have consideration for the following: (a) the scale, layout, and appearance to the heritage asset and its setting; Preston Local Plan 2012-26 (b) the proposed use of the heritage asset being appropriate in relation to its significance

B) Proposals involving the total or substantial loss of a heritage asset or the loss of the elements that contribute to its significance will be refused. Proposals will only be granted in exceptional circumstances where they can be clearly and convincingly justified in accordance with national planning guidance on heritage assets. In addition to the requirements of national policy applicants will be required as part of the justification to provide evidence that: i) other potential owners or users of the site have been sought through appropriate marketing where the marketing includes the offer of the unrestricted freehold of the asset at a price that reflects the building's condition and; ii) reasonable endeavours have been made to seek grant funding for the heritage asset's conversion and; iii) efforts have been made to find charitable or public authorities willing to take on the heritage asset.

C) Where the loss of the whole or part of a heritage asset is approved this will be subject to an appropriate condition or planning obligation to ensure that any loss will not occur until a contract is in place to carry out a replacement development that has been approved.

Policy EN9 – Design of New Development

- A) All new development proposals, including extensions to existing buildings, should be designed with regard to the following principles as set out and explained in the Central Lancashire Design Guide SPD:*
- Movement and Legibility*
 - Space and Enclosure*
 - Mix of Uses and Tenures*
 - Adaptability and Resilience*
 - Resources and Efficiency*
 - Architecture and Townscape*
- B) Applications will be approved where they:*
- Accord with the principles and guidance set in the Design SPD, the relevant policies in the Core Strategy, national policy on the historic environment and the relevant Design Council CABE guidance; and*
 - Take the opportunity to make a positive contribution to the character and local distinctiveness of the area through high quality new design that responds to its context; and,*
 - Are accompanied by a satisfactory Design and Access Statement that fully explains and justifies the design approach for the scheme.*

3. Methodology

3.1 Study Area

This Heritage Statement focuses on the designated built heritage assets in the vicinity of the Scheme. This approach and study area is considered appropriate due to the nature of the proposed works and anticipated sensitivity of the receiving environment.

Archaeological Remains and Historic Landscape have been included in the wider project DBA (Mott Macdonald, 2019). Following a walk-over survey undertaken on 30 September 2020 using professional judgement, and the conclusions of the Heritage Desk-Based Assessment (Mott Macdonald, 2019) non-designated assets featured in the HER (Archaeological Remains) and Historic Landscape have been scoped out of the assessment presented in this Heritage Statement.

This is in reflection of the nature and scale of the proposed Scheme, and the guidance on 'proportionality' of assessment contained in both national (NPPF; Historic England 2015) and local guidance.

3.2 Standards and Guidance

This heritage statement has been prepared in accordance with the requirements of the following standards and guidance:

- British Standards Institution, 2013 British Standard Guide to the Conservation of Historic Buildings BS7913:2013;
- Chartered Institute for Archaeologists' (CIfA), 2020 Standard and Guidance for Historic Environment Desk-Based Assessment;
- Chartered Institute for Archaeologists' (CIfA), 2019 Code of Conduct;
- Ministry of Housing, Communities & Local Government, 2019a The National Planning Policy Framework;
- Ministry of Housing, Communities & Local Government, 2019b Planning Practice Guide;
- English Heritage, 2008 Conservation Principles, Policies and Guidance;
- Historic England, 2015 Historic Environment Good Practice Advice in Planning: Note 2 – Managing Significance in Decision-Taking;
- Historic England, 2017 Historic Environment Good Practice Advice in Planning - Note 3: The Setting of Heritage Assets;
- Historic England, 2016 Understanding Historic Buildings, A Guide to Good Recording Practice; and
- Institute of Historic Buildings Conservation's, 2007 Code of Conduct

3.3 Data Sources

The data used to determine the baseline conditions for this Heritage Statement were accessed from the following sources:

- National Heritage List for England (NHLE) for information of designated heritage assets;
- PCC for information on Conservation Areas and locally listed buildings;

- Avenham Conservation Area Character Appraisal (Sather, K. & Associates, 2009);
- Preston and South Ribble Flood Risk Management Scheme (Phases 1 to 5) Cultural Heritage Desk-Based Assessment (Mott Macdonald, 2019); and
- Historic mapping available online.

Assets are referred to in the sections below by the unique NHLE or by RPG1 / RPG2.

3.4 Previous work and Consultations

During the Scheme design and optioneering process Jacobs have undertaken consultation with relevant cultural heritage stakeholders. For example the meeting of 17 September 2020 resulted in the proposed flood defenses moving from east of the WCML (within Miller Park) to the their current proposed configuration to the west of the WCML. This change resulted from the strongly felt and shared opinion that the this would change would considerably reduce the negative heritage impact of eth Scheme. The consultation with key heritage stakeholders will be on-going during the finalization of the design of Scheme elements which interface with designated heritage assets and/or whose design could impact upon the setting of designated heritage assets.

3.5 Assessment of Significance

The NPPF defines significance as 'the value of a heritage asset to this and future generations because of its heritage interest' and that heritage interest may be archaeological, architectural, artistic or historic (MHCLG, 2019a, 71). Design Manual for Roads and Bridges (DMRB) HA208/07 provides a methodology for the assessment of the value of heritage assets and use of this methodology in this assessment aligns with the guidance provided by the NPPF. While the established DMRB guidance has recently been replaced with amended guidance (Highways England, 2020 and 2019) to provide an assessment consistent with the DBA assessment done in 2019 (Mott MacDonald, 2019) this heritage statement retains the 'old' DMRB approach as outlined below in Table 1.

The assessment was undertaken on a five-point scale of Very High, High, Medium, Low and Negligible. DMRB provides a robust methodology for the assessment of significance of heritage assets and is widely accepted by the main heritage bodies. Table 1 is consulted throughout to provide the appropriate cultural heritage value for each heritage asset described below.

The contribution of the setting to the heritage value of assets is also considered in accordance with the guidance provided in the *Historic Environment Good Practice Advice in Planning Note 3: The Setting of Heritage Assets* (Historic England, 2017) which states that:

Setting is not a heritage asset, nor a heritage designation, though land within a setting may itself be designated. Its importance lies in what it contributes to the significance of the heritage asset. This depends on a wide range of physical elements within, as well as perceptual and associational attributes pertaining to, the heritage asset's surroundings (Historic England 2017, 4).

The following assessment of value includes the contribution made by setting in reference to Historic England's guidance and comprises:

- the physical surroundings of the asset, including its relationship with other heritage assets;
- the way the asset is appreciated; and
- the asset's associations and patterns of use.

The NPPF Glossary (MHCLG 2019a, Annex 2) also notes that '*Significance derives not only from a heritage asset's physical presence, but also from its setting*' and goes on to define the setting of a heritage asset as:

The surroundings in which a heritage asset is experienced. Its extent is not fixed and may change as the asset and its surroundings evolve. Elements of a setting may contribute to the significance of an asset, may affect the ability to appreciate that significance or may be neutral (MHCLG 2019a).

3.6 Baseline Structure

In the sections below, the baseline for the Scheme is discussed for built heritage only as archaeological remains and non-designated historic landscapes are covered by the DBA (Mott Macdonald, 2019).

A figure showing the locations of assets discussed below are provided in Appendix A.

Table 1 Assessing the value of heritage assets

Value	Criteria
Very High	<p>World Heritage Sites (including buildings and those inscribed for their historic landscape qualities)</p> <p>Assets of acknowledged international importance</p> <p>Assets that can contribute significantly to acknowledged international research objectives</p> <p>Extremely well-preserved historic landscapes with exceptional coherence, time-depth or other critical factors</p>
High	<p>Scheduled Monuments (including standing remains)</p> <p>Designated historic landscapes of outstanding interest</p> <p>Undesignated assets of schedulable quality and importance</p> <p>Assets that can contribute significantly to national research objectives</p> <p>Grade I and II* Listed Buildings</p> <p>Other Listed Buildings that can be shown to have exceptional qualities in their fabric or historical associations</p> <p>Conservation Areas containing very important buildings</p> <p>Undesignated structures of clear national importance</p> <p>Undesignated landscapes of outstanding interest, high quality or importance and of demonstrable national value</p> <p>Well-preserved historic landscapes, exhibiting considerable coherence, time-depth or other critical factors</p>
Medium	<p>Designated or undesignated assets that contribute to regional research objectives</p> <p>Undesignated historic landscapes that would justify special historic landscape designations, or landscapes of regional value</p> <p>Averagely well-preserved historic landscapes with reasonable coherence, time-depth or other critical factor</p> <p>Grade II Listed Buildings</p> <p>Conservation Areas containing buildings that contribute significantly to its historic character</p> <p>Historic Townscape or built-up areas with important historic integrity in their buildings, settings or built settings</p>

Low	<p>Designated and undesignated assets of local importance</p> <p>Robust undesignated historic landscapes and historic landscapes with importance to local interest groups</p> <p>Historic landscapes whose value is limited by poor preservation and / or poor survival of contextual associations</p> <p>Assets compromised by poor preservation and/or poor survival of contextual associations</p> <p>Assets of limited value, but with potential to contribute to local research objectives</p> <p>'Locally Listed' buildings</p> <p>Historic (unlisted) buildings of modest quality in their fabric or historical association</p> <p>Historic Townscape or built-up areas of limited historic integrity in their buildings, or built settings</p>
Negligible	<p>Assets with very little or no surviving archaeological interest</p> <p>Buildings of no archaeological or historical note, or buildings of an intrusive character</p> <p>Landscapes with little or no significant historical interest</p>
Unknown	<p>The importance of the resource has not been ascertained, or buildings with some (hidden) potential for historical significance</p>

Impact Magnitude

Magnitude of impact is the degree of change that would be experienced by a cultural heritage asset and (where relevant) its setting resulting from the construction or operation of the proposed scheme, as compared with a 'Do Nothing' scenario. Magnitude of impact is assessed without reference to the value of the cultural heritage asset, and may include physical impacts on the cultural heritage asset, or impacts on its setting or amenity value.

Assessment of magnitude of impact was undertaken on a five-point scale of major, moderate, minor, negligible and no change based on professional judgement informed by the methodology and criteria provided by HA208/07 (Highways Agency, 2007) for archaeological remains, historic buildings and the historic landscape presented in Table 2.

Table 2 Magnitude of Impact on Cultural Heritage Assets

Magnitude	Criteria
Major	<p>Change to most or all key archaeological materials, such that the resource is totally altered.</p> <p>Change to key historic building elements, such that the resource is totally altered.</p> <p>Change to most or all key historic landscape elements, parcels or components; extreme visual effects; gross change of noise or change to sound quality; fundamental changes to use or access; resulting in total change to historic landscape character unit.</p> <p>Comprehensive changes to setting.</p>
Moderate	<p>Changes to many key archaeological materials, such that the resource is clearly modified.</p> <p>Change to many key historic building elements, such that the resource is significantly modified.</p> <p>Changes to some key historic landscape elements, parcels or components, visual change to many key aspects of the historic landscape, noticeable differences in noise or sound quality, considerable changes to use or access; resulting in moderate changes to historic landscape character.</p> <p>Considerable changes to setting that affect the character of the asset.</p>
Minor	<p>Changes to key archaeological materials, such that the asset is slightly altered.</p> <p>Change to key historic building elements, such that the asset is slightly different.</p>

Magnitude	Criteria
	Changes to few key historic landscape elements, parcels or components, slight visual changes to few key aspects of historic landscape, limited changes to noise levels or sound quality, slight changes to use or access; resulting in limited changes to historic landscape character. Slight changes to setting.
Negligible	Very minor changes to archaeological materials or setting. Slight changes to historic buildings elements or setting that hardly affect it. Very minor changes to key historic landscape elements, parcels or components, virtually unchanged visual effects, very slight changes in noise levels or sound quality, very slight changes to use or access; resulting in a very small change to historic landscape character.
No Change	No change to elements, parcels or components; no visual or audible changes; no changes arising from amenity or community factors.

Significance of Effect

The significance of effect is determined as a combination of the value of the cultural heritage asset and the magnitude of impact. In accordance with the guidance provided by HA208/07 (Highways Agency, 2007), significance of effect was assessed on a five-point scale of Very Large, Large, Moderate, Slight or Neutral using professional judgement informed by the matrix illustrated in Table 3. Five levels of significance of effect are defined which apply equally to adverse and beneficial effects.

Table 3 Matrix for Determination of Significance of Effect

Magnitude \ Value	No change	Negligible	Minor	Moderate	Major
Very High	Neutral	Slight	Moderate/Large	Large/Very Large	Very Large
High	Neutral	Slight	Moderate/Slight	Moderate/Large	Large/Very Large
Medium	Neutral	Neutral/Slight	Slight	Moderate	Moderate/Large
Low	Neutral	Neutral/Slight	Neutral/Slight	Slight	Slight/Moderate
Negligible	Neutral	Neutral	Neutral/Slight	Neutral/Slight	Slight

For the purpose of this assessment, effects of Moderate or greater significance are considered to be potentially 'significant' or as causing substantial harm (cf. paras. 193 to 196 of the NPPF.)

4. Historic Buildings

4.1 Designated Assets

The study area encompasses all or part of the following 15 heritage assets:

- Avenham Conservation Area
- Penwortham Old Bridge (Scheduled monument; also designated as a Grade II Listed building)
- Miller Park (RPG 1; Grade II* Registered Park and Garden)
- Avenham Park (RPG 2; Grade II* Registered Park and Garden)
- Nine individually Grade II Listed Buildings within Miller Park (RPG 1)
- Two further Grade II Listed Buildings associated with the railway embankment between RPG1 and RPG2

4.1.1 Avenham Conservation Area

Avenham Conservation Area covers an area of predominantly 19th century townscape and open spaces to the south of Preston City Centre and north of the River Ribble. It should be noted that only the south western corner of the Conservation Area (formed in the main by Miller Park (RPG1)) is within the study area for this Heritage Statement. On Plate 1 the boundary in blue is the pre-2009 extent of the CA and the area in red was added following the assessment presented in the 2009 Conservation Area Appraisal.

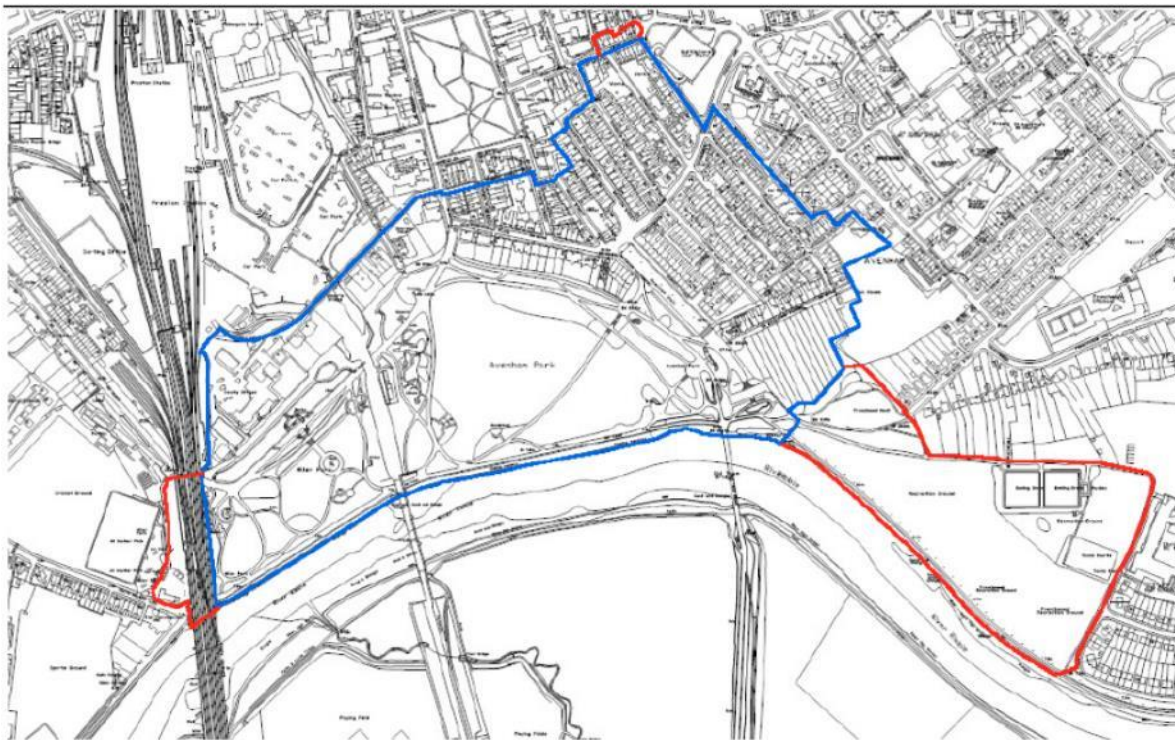


Plate 1 Avenham Conservation Area Boundary.

The Avenham Conservation Area Appraisal (CAA; Sather, K. and Associates, 2009) identifies the special interest of this asset as deriving from the following elements:

- *A mixture of fine Georgian town houses in the south and southwest dating from the early to mid-nineteenth century, stepped back from the pavement to allow light to cellars, and smaller middle class terraced houses in the east with some of the same architectural features;*
- *A large number of buildings and monuments listed or of local architectural or historic interest;*
- *Traditional craftsmanship embodied in original building materials and architectural features;*
- *Visual harmony resulting from use of a limited palette of natural building materials of brick and slate roofs and a limited variety of styles, particularly in the terraced streets;*
- *Hard and soft landscaped spaces and historic street surfaces in parts of the Conservation Area enhancing the environment;*
- *Attractive views across the Ribble valley;*
- *Green open space and historic park structures provided by the more formal Grade II¹ listed Avenham and Miller Parks, which include Avenham Walk, as well as the private gardens of Bank Parade; the riverside walk; Avenham and Miller Parks have been described as being amongst the finest examples of traditional Victorian parkland in the northwest of England; more informal parkland to Frenchwood Knoll;*
- *One of the proposed extensions includes Frenchwood Knoll and part of the designed riverside walk with its avenue of trees.*

(Sather, K. and Associates, 2009, p.8)

Views:

The main significant views in the Avenham Conservation Area are those afforded in a south-westerly direction from Avenham Walk over Avenham Park towards the River Ribble and views along and over the Ribble valley from the Avenham and Miller Parks. There is also an attractive view in both directions along Avenham Walk itself. The main landmarks are the five-storey Avenham Tower on the corner of Avenham Walk and Bank Parade, designed to be a landmark building, and the tower of the former railway hotel on East Cliff (Sather, K. and Associates, 2009, p. 10; See Plate 13).

Significance:

The primary significance of the asset derives from its archaeological, architectural, artistic and historic interest as an example of historic expansion of settlement in Preston. In accordance with the criteria presented in Table 3.1 above, this asset is accorded a high cultural heritage value.

Setting:

The immediate setting of the asset comprises of the built form of the later (19th and 20th century.) expansion of Preston. Based on the observations from the walkover survey carried out, there are no clear views of the site (the Scheme) from majority of Avenham Conservation Area due to the presence of existing vegetation and topography in the surrounding area.

Summary:

The primary significance of the asset derives from its archaeological, architectural, artistic and historic interest as part of the 19th century development in the vicinity of Preston City Centre. Due to the varied character and age of the surrounding townscape, it is assessed that overall the setting of the Conservation Area makes a neutral

¹ N.B. Now Grade II*

contribution to its cultural heritage value (significance). In accordance with the criteria presented in Table 1 above, this asset is accorded a medium cultural heritage value.



Plate 2 The Japanese Ornamental Garden within Avenham Park (RPG2).



Plate 3 19 and 21 East Cliff Gardens (within Avenham Conservation Area).

4.2 Registered Parks & Gardens

4.2.1 Miller Park Registered Park and Garden (NHLE ID:1001450; RPG1)



Plate 4 View southwest from the upper terrace of Miller Park RPG.

Summary² Listing Description:

Summary

A public park designed by Edward Milner in 1864 incorporating a riverside walk which had been laid out 1847-9. The park retains all the essential elements of the 1864 design with the exception of the Derby Monument, which replaced the original arcaded shelter in 1873. The shelter, called the Belvedere, was relocated in Avenham Park (qv).

Reasons for Designation

Miller Park, Preston, opened in 1864, is designated at Grade II for the following principal reasons: * Date: the park is an early example of a municipal park; * Design: although enhanced, the park's design is essentially unchanged from its original layout; * Designer: the park was designed by the leading landscape designer Edward Milner, incorporating a riverside walk of 1847-8; * Historic interest: the park was developed by Preston Corporation for recreational purposes taking in the earlier walks, the railway alongside which was provided with ornamental structures; * Structures and planting: the park retains various listed C19 structures; * Group value: it lies alongside Avenham Park, also by Milner.*

² The full description is provided in Appendix B.

History

Preston Corporation had started to develop land in the area for recreational purposes by stipulating that the railway bridges across the site of c 1846 should be treated ornamentally. A tree-lined walk was laid out along the banks of the River Ribble after the railway was constructed. Miller Park was laid out in 1864 to the design of Edward Milner (1819-84), on land acquired for the purpose by Alderman Miller, and the work was supervised by George Rowbotham.

In 1869-76 the line of the Tram Road was incorporated into the design of the park after its closure resulting in the relocation of the Belvedere after the construction of the Derby Memorial. Then between 1877-82 Milner was asked to draw up new proposals as the North Western Railway (formerly North Union) was widened, these include the rockwork and pools that still remain. The entrance to West Cliff and the Lodge were also constructed after the acquisition of the land.

The park went through an extensive restoration programme in the early C21, restoring the park back to its original design and removing insensitive later additions. This included the removal of a modern toilet block and the restoration of the rockwork as according to the 1893 OS plan. The waterfall to the west rockwork has been restored and is in full working order. The park gates and railings were also restored, with missing areas replaced.



Plate 5 'The Derby Monument'; statue of the 14th Earl of Derby (Grade II Listed building)

Significance:

The primary significance of the asset derives from its archaeological, architectural, artistic and historic interest as an example of 19th century ornamental, landscaped urban park. The park is also assessed to be in a comparatively original state, meaning it can be experienced in terms of recreational and aesthetic experience essentially in the same way as was originally intended.

The park also is an example of Victorian civic attempts (and achievements) to improve the urban environment of rapidly expanding industrial towns such as Preston. Its association with the wider corpus of works by Edward Milner (1819-1884), a notable garden and landscape designer active in the mid-19th century, adds to the heritage value (significance) of this asset. In Preston, Milner's work can be experienced not only in Avenham Park (RPG2) but he was also responsible for the design of Moor Park (NHLE ID: 1001309; Grade II* RPG) to the north of the city centre.

In consideration of the above and the Grade II* designated status of this asset, Miller Park (RPG1) is assessed to be of high value.

Setting:

The immediate setting of the asset comprises of the built form of the later (19th and 20th century) expansion of Preston to the north and northwest of RPG1 and the more open and natural aspect to the south and east formed by the River Ribble and Avenham Park (RPG2) respectively. Based on the observations from the walkover survey carried out, the setting of RPG1 makes a positive contribution to the way the asset is understood, experienced and appreciated, thus adding to its value.

The open space created by the course of River Ribble (which forms the southern boundary of the park) affords varied and interesting views across the park and further across and along from this riverside area of Preston. These views allow the scale and design of Miller Park (and the individually designated assets within it) to be appreciated, experienced and understood from a number of interesting vantage points.

Due to the presence of existing vegetation and the topography of Miller Park (RPG1) the Scheme will not be visible from all parts of the park, but from the westernmost extent of RPG1 (to the west of the WCML embankment) a degree of intervisibility is predicted in this area.

Summary:

The primary significance of the asset derives from its archaeological, architectural, artistic and historic interest as part of the 19th century development in the vicinity of Preston City Centre. The setting of RPG1 makes a positive contribution to the way the asset is understood, experienced and appreciated, thus adding to its value.

In consideration of this, the heritage interests discussed in the above and the Grade II* designated status of this asset, Miller Park (RPG1) is assessed to be of high value.

4.2.2 Avenham Park Registered Park and Garden (NHLE ID: 1000944; RPG2)

Summary³ Listing Description:

Summary

A public park designed by Edward Milner and laid out in 1861 incorporating an existing riverside walk which had been laid out 1847-9. The park retains all the essential elements of the 1861 design.

Reasons for Designation

Avenham Park, Preston, opened in 1861, is designated at Grade II for the following principal reasons: * Date: the park is an early example of a municipal park; * Design: although enhanced, the park's design is essentially unchanged from its original layout; * Designer: the park was designed by the leading landscape designer Edward Milner, incorporating a riverside walk of 1847-8; * Historic interest: the park was developed by Preston Corporation for recreational purposes taking in the earlier walks, the railway alongside which was provided with ornamental structures; * Structures and planting: the park retains various listed C19 structures and a Boer War memorial, as well as mature planting; * Group value: it lies alongside Miller Park, also by Milner.*

History

Preston Corporation had started to develop land for recreational purposes during the 1840s by stipulating that the railway along the west side of the site should have ornamental bridges and by laying out a tree-lined riverside walk along the banks of the River Ribble. Land was purchased for the park by Preston Corporation in 1852. Avenham Park was laid out in 1861 to the design of Edward Milner (1819-84) and the work was supervised by George Rowbotham.

The park underwent an extensive restoration project funded by the Heritage Lottery Fund (HLF) in early C21 to restore it back to its original design and to remove any insensitive additions. This included the restoration and replacement, where lost, of the parks railings, the refurbishment of the entrance lanterns, replacement of some of the chestnut trees, the restoration of the Japanese Garden and Belvedere and the construction of a new pavilion.

Significance: The primary significance of the asset derives from its archaeological, architectural, artistic and historic interest as an example of 19th century ornamental, landscaped urban park. The park is also assessed to be in a comparatively original state, meaning it can be experienced in terms of recreational and aesthetic experience essentially in the same way as was originally intended.

The park also is an example of Victorian civic attempts (and achievements) to improve the urban environment of rapidly expanding industrial towns such as Preston. Its association with the wider corpus of works by Edward Milner (1819-1884), a notable garden and landscape designer active in the mid-19th century, adds to the heritage value (significance) of this asset. In Preston, Milner's work can also be experienced not only in Miller and Avenham Parks (RPG1 and RPG2) but he was also responsible for the design of Moor Park (NHLE ID: 1001309; RPG GII*) to the north of the city centre.

In consideration of the above and the Grade II* designated status of this asset, Avenham Park (RPG2) is assessed to be of high value.

Setting: The immediate setting of the asset comprises of the built form of the later (19th and 20th C.) expansion of Preston to the north and northwest of RPG1 and the more open and natural aspect to the south and east formed by the River Ribble and Avenham Park (RPG2) respectively.

³ The full description is provided in Appendix B.

The open space created by the course of River Ribble (which forms the southern boundary of the park) affords varied and interesting views across the park and further across and along from this riverside area of Preston. These views allow the scale and design of Avenham Park to be appreciated, experienced and understood from a number of interesting vantage points. Based on the observations from the walkover survey carried out, the setting of RPG2 makes a positive contribution to the way the asset is understood, experienced and appreciated, thus adding to its value.

Due to the presence of the railway embankment separating RPG1 and RPG2, as well as existing vegetation and the topography of the area it is assessed that the Scheme would not be visible to or from Avenham Park (RPG2).

Summary: The primary significance of the asset derives from its archaeological, architectural, artistic and historic interest as part of the 19th century development in the vicinity of Preston City Centre. The setting of RPG2 makes a positive contribution to the way the asset is understood, experienced and appreciated, thus adding to its value.

In consideration of this, the heritage interests discussed in the above and the Grade II* designated status of this asset, Avenham Park (RPG2) is assessed to be of high value.

4.3 Scheduled Monuments and Listed Buildings

4.3.1 Penwortham Old Bridge Scheduled Monument

Penwortham Old Bridge (Scheduled Monument ID: 1005092) is also designated as a Grade II Listed building (NHLE ID: 1210865 and 1279848).

As the scheduling of the bridge provides no further detail about the bridge the Listing description is included here as the description of this asset:

Bridge over River Ribble (now a footbridge). 1759. Sandstone. Five unequal segmental arches, rising towards the centre; V-shaped cutwaters continued to the parapets to form refuges on both sides of the deck; spandrels of red sandstone; parapets with moulded tops, splayed at north end, and that on the east side linked to matching wall which turns at right-angles along north side of approach ramp from west. History: replaced first bridge on this site (built 1755, collapsed 1756), and until early C20 was lowest bridge over River Ribble, intermittently maintained by tolls. The southern half of the bridge is in Penwortham CP, South Ribble District (q.v.).



Plate 6 Penwortham Old Bridge view from Riverside (north bank of the Ribble) towards south west



Plate 7 Penwortham Old Bridge view south / southwest from Preston on the northern bank towards Penwortham in the south

Significance:

Dating from 1759 Penwortham Old Bridge was, until the early 20th century, the lowest bridge over the River Ribble. The Bridge has since been pedestrianized and, based on observations made during the walkover survey conducted on 30 September 2020, this adds to the significance of this Scheduled Monument by allowing it to be experienced without vehicular disturbance.

The primary significance of the asset derives from its considerable age, and the archaeological, architectural, artistic and historic interest held in its surviving 18th century built fabric, its authentic visual character and as an example of 18th century achievements in improving the transport infrastructure of the area.

In consideration of the above and the designation of this asset as both a Scheduled Monument and a Grade II Listed Building, it is assessed to be of high value.

It should be noted that while the Scheduled extent of the Bridge excludes the stone steps providing access to the bridge from the eastern side of the north bank, it is assessed that these stone and brick steps do form part of the structure as a Grade II Listed Building.



Plate 8 Steps associated with the Old Penwortham Bridge (Grade II Listed Building)

Setting:

As a bridge the riverside setting of this asset is integral to its significance as a heritage asset, and based on the observations from the walkover survey carried out, the setting of Penwortham Old Bridge makes a positive contribution to the way the asset is understood, experienced and appreciated, thus adding to its value.

The open space created by the course of River Ribble (which the Bridge crosses connecting Penwortham district with Preston) affords varied and interesting views across the bridge and further across and along both up and downstream of this riverside area of Preston.

These views allow the scale and design of Penwortham Old Bridge to be appreciated, experienced and understood from a number of interesting vantage points.

Summary:

As a bridge the riverside setting of this asset makes an integral positive contribution to its significance as a heritage asset, contributing to the way the asset is understood, experienced and appreciated. In consideration of this, the heritage interests discussed in the above and the doubly designated status of this asset, Penwortham Old Bridge assessed to be of high value.

4.4 Listed Buildings

4.4.1 Railway Viaduct Over River Ribble (NHLE ID: 1218908)

Listing Description:

Railway viaduct carrying North Union Railway over River Ribble; now British Rail viaduct. 1837-8, for North Union Railway Company, resident engineer Charles Vignoles; widened 1879-80 (with subsequent further addition). Rusticated hammer-dressed sandstone ashlar. Approx. 200 metres long, in 5 wide spans. Classical style. Low barge-shaped piers; 5 wide segmental arches with long rusticated voussoirs, a continuous moulded cornice, and plain parapet (now interrupted by stanchions of overhead power lines). The soffits of the arches are also rusticated, and have longitudinal joints on the midline, the width of the viaduct having been doubled in 1879-80 and the addition built in matching style. Northernmost arch spans riverside road entering Miller Park from west, and dies into a battered pier. West side of item partly covered by later iron addition. (Southern half of structure is in Penwortham CP, South Ribble District.)



Plate 9
southwest

Railway Viaduct over River Ribble (Grade II Listed Building) view from Miller Park towards



Plate 10 The later 19th C. widened section of the Railway Viaduct over River Ribble; view from below

Significance:

The primary significance of the asset derives from the archaeological, architectural and historic interest held in its original built fabric, its impressive visual character and as an example of 19th century achievements in railway engineering. When considered as a group the three railway bridges discussed in this heritage statement gain additional interest due to their mutual association and the visual impact their close proximity to one another creates.

In consideration of this, the heritage interests discussed in the above and the Grade II designated status of this asset, Railway Viaduct over River Ribble is assessed to be of medium value.

Setting:

Based on the observations from the walkover survey carried out, the setting of this makes a positive contribution to the way the asset is understood, experienced and appreciated, thus adding to its value.

The immediate setting of the asset comprises of the built form of the later (19th and 20thC.) expansion of Preston to the north and northwest of RPG1 and the more open and natural aspect to the south and east formed by the River Ribble and Miller Park (RPG1) respectively.

The open space created by the course of River Ribble (which the Bridge crosses) and Miller Park (RPG1) affords varied and interesting views towards and from the bridge and further across and along both up and downstream of this riverside area of Preston.

These views allow the scale and design of this asset be appreciated, experienced and understood from a number of interesting vantage points.

Summary:

When considered as a group the three railway bridges discussed in this heritage statement gain additional interest due to their mutual association and the visual impact their close proximity to one another creates. The open setting created by the surrounding park land combined with the open scape created by the course of the river affords interesting views across this river side area of Preston. These views allow the scale and design of the railway infrastructure to be appreciated, experienced and understood from a number of vantage points and such the setting of these assets contributes to their value as heritage assets.

4.4.2 Bridge at South End of Railway Embankment Between Avenham Park and Miller Park (NHLE ID: 1279843)

Listing description:

Bridge over riverside walk, linking railway embankment with railway viaduct. c.1846, for Blackburn and Preston Railway Company; resident engineer, Sturges Meek. Red brick with sandstone dressings. Single span linking south end of embankment with north end of viaduct over river. Tall round-headed arch with rusticated stone voussoirs, brick parapet with stone coping, terminal pilasters at north side with rusticated quoins, plain band. At north end of east side a long flight of steps at right-angles leads up to a pedestrian walkway along the viaduct. History: with railway bridge over drive at north end of embankment (q.v.), this was an integral element of landscaping demanded of the Company by Preston Corporation, which was beginning to create Avenham Park in the mid 1840s.

Bridge at South End of Railway Embankment Between Avenham Park and Miller Park (1279843) and Railway Bridge Over Drive Between Avenham Park and Miller Park (1279844; section 4.4.3) are both integral parts of the railway embankment that separates the Avenham and Miller Parks. Both bridges are also integral parts of the adjoining parks (RPG1 and RPG2) allowing the riverside and the upper walkways pass under the railway between the two parks.



Plate 11

Bridge at South End of Railway Embankment Between Avenham Park and Miller Park



Plate 12

View west towards the Scheme from The Bridge at South End of Railway Embankment Between Avenham Park and Miller Park

Significance:

The primary significance of the asset derives from the archaeological, architectural and historic interest held in its original built fabric, its impressive visual character and as an example of 19th century achievements in railway engineering. When considered as a group the three railway bridges discussed in this heritage statement gain additional interest due to their mutual association and the visual impact their close proximity to one another creates.

Setting:

The immediate setting of the asset comprises of the built form of the later (19th and 20th C.) expansion of Preston to the north and northwest of RPG1 and the more open and natural aspect to the south and east formed by the River Ribble and Miller and Avenham Parks (RPG1) respectively.

Based on the observations from the walkover survey carried out, the setting of this makes a positive contribution to the way the asset is understood, experienced and appreciated, thus adding to its value.

At the time of its design and construction, Preston Corporation had started to develop this area for recreational purposes (see listing description above). Conscious of the potential impact this large structure could have on the setting of the recreational area/s the Corporation required that their design be treated ornamentally. As such the bridges have an important role to play in the historic setting of both Avenham and Miller Parks.

Aside from the asset's physical connection to the (non-designated) railway bridge and embankment, the immediate setting of the asset comprises of the open and verdant surroundings formed by the River Ribble and Miller and Avenham Parks (RPG1 and RPG2) respectively. The open space created by the course of River Ribble (which the Bridge crosses) and Miller and Avenham Parks affords varied and interesting views towards and from the bridge and further across and along both up and downstream of this riverside area of Preston.

These views allow the scale and design of this asset be appreciated, experienced and understood from a number of interesting vantage points.

Summary:

When considered as a group the three railway bridges discussed in this heritage statement gain additional interest due to their mutual association and the visual impact their close proximity to one another creates. The open setting created by the surrounding park land combined with the open scape created by the course of the river affords interesting views across this river side area of Preston. These views allow the scale and design of the railway infrastructure to be appreciated, experienced and understood from a number of vantage points and such the setting of these assets contributes to their value as heritage assets.

In consideration of this, the heritage interests discussed in the above and the Grade II designated status of this asset, Bridge at South End of Railway Embankment Between Avenham Park and Miller Park is assessed to be of medium value.

4.4.3 Railway Bridge Over Drive Between Avenham Park and Miller Park (1279844)

Listing Description:

Railway bridge. c.1846, for Blackburn and Preston Railway Company; resident engineer, Sturges Meek. Sandstone ashlar. Single span, slightly skewed. Classical style. Semi-elliptical arch with rusticated rock-faced voussoirs, rusticated terminal pilasters, plain band, balustraded parapet with shield in centre; soffit of winding rusticated masonry; curved rock-faced abutments. History: bridge carried the former East Lancashire Railway line over drive between parks. Together with arch over riverside walk at south end of

railway embankment, (q.v.), this was an integral element of landscaping demanded of the railway company by Preston Corporation which was beginning to create Avenham Park in the mid 1840s.

Significance:

The primary significance of the asset derives from the archaeological, architectural and historic interest held in its original built fabric, its impressive visual character and as an example of 19th century achievements in railway engineering. When considered as a group the three railway bridges discussed in this heritage statement gain additional interest due to their mutual association and the visual impact their close proximity to one another creates.

In consideration of this, the heritage interests discussed in the above and the Grade II designated status of this asset, Railway Bridge Over Drive Between Avenham Park and Miller Park is assessed to be of medium value.

Setting:

The setting of the asset is formed by its location as an integral part of the railway embankment separating RPG1 and RPG2. The surrounding townscape comprises of the built form of the later (19th and 20th C.) expansion of Preston to the north of the asset and the more open and natural aspect to the south, west and east formed by the River Ribble and Miller and Avenham Parks (RPG1 and RPG2) respectively.

Based on the observations from the walkover survey carried out, the setting of this makes a positive contribution to the way the asset is understood, experienced and appreciated, thus adding to its value.

At the time of its design and construction, Preston Corporation had started to develop this area for recreational purposes (see listing description above). Conscious of the potential impact this large structure could have on the setting of the recreational area/s the Corporation required that their design be treated ornamentally. As such the bridges have an important role to play in the historic setting of both Avenham and Miller Parks.

The open space created by the course of River Ribble (which the Bridge crosses) and Miller and Avenham Parks affords varied and interesting views towards and from the bridge and further across and along both up and downstream of this riverside area of Preston. These views allow the scale and design of this asset be appreciated, experienced and understood from a number of interesting vantage points.

Due to the visual separation created by the landscaping and vegetation of Miller Park and the siting of the Scheme c.a. 270m to the south-west of this asset, it is assessed that the Scheme is outside the asset's setting.

Summary:

When considered as a group the three railway bridges discussed in this heritage statement gain additional interest due to their mutual association and the visual impact their close proximity to one another creates. The open setting created by the surrounding park land combined with the open scape created by the course of the river affords interesting views across this river side area of Preston. These views allow the scale and design of the railway infrastructure to be appreciated, experienced and understood from a number of vantage points and such the setting of these assets contributes to their value.

4.4.4 Listed Buildings within Miller Park (RPG1)

There are nine individually Listed Buildings within Miller Park (RPG1). Aside from the sculpture depicting the 14th Earl of Derby (Derby Monument; 1218485) these Listed Buildings are the original ornamental features complementing the designed landscaped of RPG1 (See Plate 4; Plate 5; Plate 13). The Derby Monument was introduced to the park (which opened in 1864) in 1873 to commemorate the life of the Earl (b. 1799- d. 1869)

who had been the MP for Preston and North Lancashire before serving as Prime Minister in 1852, 1858-59, and 1866-68.



Plate 13 Fountain (1279801), Terrace Steps and Urns (1218491); two of the Listed urns (1291944 and 1207311) and the Derby Monument (1218485) within Miller Park RPG⁴.

These assets, their Listing Grade and assessed heritage value are summarised in Table 4 below. Full Listing descriptions for each feature are given in Appendix C.

Table 4 Nine Listed Buildings within the Miller Park (RPG1)

NHLE Reference	Name	Grade	Value
1218485	Derby Monument	GII	Medium
1291944	Urn Approximately 2 Metres South West of Terrace Steps on Upper Terrace of Park	GII	Medium
1218659	Urn Approximately 50 Metres South West of Terrace Steps on Upper Terrace of Park	GII	Medium
1218491	Terrace Steps with Balustrades and Urns in Centre of Upper Terrace	GII	Medium

⁴ The large red-brick building shown in the background on Plate 13 is the former railway owned Park Hotel (opened in 1883); linked to Preston railway station by a covered walkway, this impressive building has been in use as Lancashire County Council offices for the past 70 years, but in 2020 plans are in place to return the building to its original use.

NHLE Reference	Name	Grade	Value
1207311	Urn Approximately 2 Metres North East of Terrace Steps on Upper Terrace of Park	GII	Medium
1218613	Urn Approximately 25 Metres South West of Terrace Steps on Upper Terrace of Park	GII	Medium
1279801	Fountain in Pond Approximately 65 Metres South East of Derby Monument	GII	Medium
1279802	Urn Approximately 25 Metres North East of Terrace Steps on Upper Terrace of Park	GII	Medium
1207312	Urn Approximately 50 Metres North East of Terrace Steps on Upper Terrace of Park	GII	Medium

Due to the nature of these assets as constituent parts of the designed landscape of Miller Park (RPG1) their significance and setting can be considered collectively.

Significance:

The primary significance of these assets derives from the architectural, artistic and historic interest held in their original fabric and their attractive visual character. When considered as a group these assets gain additional interest due to their mutual association and the visual impact their proximity to one another as part of the designed landscape of Miller Park (RPG1) creates.

Depicting an important historical figure, the 14th Earl of Derby, the three-time Prime Minister and a statesman and politician with a long and distinguished career⁵, the Derby Monument (1218485; See Plate 5) is of additional historic interest arising from this association.

In consideration of the above and their individual designations as Grade II Listed Buildings these are assessed to be of medium value.

Setting:

The setting of these assets is formed by the attractive verdant surroundings of Miller Park (RPG1) and the assets individually and collectively make a positive contribution to the visual character of the park. RPG1 essentially retains its original 19th century layout, meaning these nine individually Listed structures can be understood, experienced and appreciated in a very authentic way.

When considered as a group these individually listed features of Miller Park (RPG1) gain additional interest due to their mutual association and the visual impact their close proximity to one another creates. The open setting created by the surrounding park land combined with the open space created by the course of the river affords varied and interesting views across the park and further across and along this riverside area of Preston. These views allow the scale and design of Miller Park (and the individually designated assets within it) to be appreciated, experienced and understood from a number of interesting vantage points.

In consideration of the above it is assessed that setting makes a strong positive contribution to the heritage value (significance) of these heritage assets.

⁵ As the Hon. E.G. Stanley before his succession to the title (of Earl of Derby), the subject was MP for Preston 1826-30 and for North Lancashire 1832-44; and subsequently Prime Minister in 1852, 1858-59, and 1866-68.

Summary:

When considered as a group these individually listed features of Miller Park (RPG1) gain additional interest due to their mutual association and the open setting created by the surrounding park land combined with the open space created by the course of the river creates a setting that adds to this value.

5. Potential Impacts of the Scheme

As outlined in Section 3.1 above, Archaeological Remains and Historic Landscape have been included in the wider project DBA (Mott MacDonald, 2019). Following a walk-over survey undertaken on 30 September 2020 using professional judgement, and the conclusions of the Heritage Desk-Based Assessment (Mott MacDonald, 2019) non-designated assets featured in the HER (Archaeological Remains) and Historic Landscape have been scoped out of the assessment presented in this Heritage Statement. During the construction period a number of temporary impacts would arise from construction activities and vegetation removal in Areas 1 and 2 but these would be short-term in nature.

Due to the nature of the Scheme some permanent physical impacts are also predicted as well as permanent changes in the setting of some of the assets. These impacts and their effects are discussed further in the following.

Historic Buildings

Predicted Impacts - Designated Assets

Avenham Conservation Area

- The Scheme has the potential to physically impact the western most extent of Avenham Conservation Area due to introduction of the two floodgates and additional flood walling outside the arches of the railway embankment that divides the two parts of the Miller Park (RPG1). Both of these floodgates would be within the Conservation Area. In the context of the CA as a whole the impact of this localised change to its special character and appearance is assessed to be negligible,
- The linear nature of flood walling along the northern bank of the River Ribble, would also affect Avenham Conservation Area by encroaching into the Conservation Area and by introducing a permanent change into the setting of the Conservation Area, potentially affecting views to and from its south-western extent. In the context of the CA as a whole the impact of this localised change to its special character and appearance is assessed to be negligible.
- There would be a temporary impact on this asset during the construction period due to the presence of construction machinery, compounds and fencing and associated noise and activity within the CA and in its immediate setting (to the west of the CA along River Ribble) for the period of two months. This temporary change in a comparatively tranquil and quiet part of the CA is assessed as having a negligible impact on its character and appearance.
- There would be a temporary impact arising from the removal of vegetation along the bank of the River Ribble (within the setting of the Conservation Area), potentially affecting views to and from the south-western extent of the Conservation Area. This temporary impact is assessed as negligible.

Consequently, negligible temporary and negligible to minor permanent impacts on the character and appearance of the Conservation Area (high value heritage asset) are predicted. The level of this impact has been assessed as being neutral to slight. Following the DMRB guidance (Highways Agency, 2007) this is not considered a significant (moderate to very large) effect or substantial harm (cf. NPPF paras. 193 to 197).

Miller Park (RPG1)

- There would be a permanent physical impact on Miller Park (RPG1) due to introduction of the two floodgates into arches of the railway embankment between the two parts of the park and the flood wall running between the two gates. It is assessed that the northernmost of these floodgates would be within RPG1 and the more southerly one would be within its setting. This permanent impact is assessed

as negligible. Please see drawing ENV0000009C-JAC-ZZ-41C-DR-C-0001 [Area 1C GA Plan Sheet 1 of 1] for details of this.

- The linear nature of flood walling along the northern bank of the River Ribble, may also affect Miller Park (RPG1) by introducing a permanent change into its setting, potentially affecting views to and from its south-western extent. This permanent impact is assessed as negligible.
- There would be a temporary impact on this asset during the construction period due to the presence of construction machinery, compounds and fencing and associated noise and activity within RPG1 and in its immediate setting (to the east of the CA along River Ribble) for the period of two months. This temporary change to the way this asset is going to be understood, experienced and appreciated is assessed as having a minor impact on the heritage significance of this asset.
- There would be a temporary impact arising from the removal of vegetation along the bank of the River Ribble, potentially affecting views to and from the 'outlying' part of RPG1. This temporary impact is assessed as negligible as vegetation will be re-instated and is intended to mature over time.

Consequently, negligible to minor temporary and negligible permanent impacts on this high value heritage asset are predicted and as such the Scheme is considered to have slight adverse significance of effect on this asset, both temporarily and permanently. Following the DMRB guidance (Highways Agency, 2007) this is not considered a significant (moderate to very large) effect or substantial harm (cf. NPPF paras. 193 to 197).

Old Penwortham Bridge – Scheduled Monument (and Grade II Listed Building)

The Scheme in the vicinity of Old Penwortham Bridge will feature works on both the north and south banks of the River Ribble.

To the south the Scheme comprises works in three different locations, of which

Area 2A 'Penwortham Church' would consist of:

- works around Penwortham Methodist church including road raising within the church access the off Leyland Road in the vicinity of the southern end of Old Penwortham Bridge.

And Area 2B Ribble Sidings' would consist of:

- Bank stabilization to the south bank of the river with sloped retaining wall, steel toe pile and imported fill material – length 70m; running east (250m upstream) from the bridge..
- Construction of a flood defence wall on top of the new retaining wall along Riverside Road. Approximate length of this partially glazed wall (preserving residential amenity of houses on Riverside Road) will be c.a. 70m. The downstream end of this new flood defence wall will be sited 35m southeast of the Scheduled Monument where it ties into the Cadent Gas pipe bridge.

It should be noted that works in area 2C are assessed not to impact on this asset. This is due to visual separation created by distance and existing land and built forms.

-

In consideration of the above it is assessed that the Scheme (south bank of River Ribble; Areas 2A Penwortham Church and 2B Ribble Sidings) would result in:

- Permanent change in the setting of the assets through the changed appearance of the river bank due to the introduction of Redi-rock construction, as well as the newly constructed flood wall which will be visible from (and from the vicinity of) the bridge. This change to the way this asset is going to be understood, experienced and appreciated is assessed as having a minor impact on the heritage significance of this asset.
- Temporary impact through changes in the setting of this asset during the construction period due to the presence of construction machinery, compounds and fencing and associated noise and activity in its immediate setting for the period of up to six months. This temporary change to the way this asset is going to be understood, experienced and appreciated is assessed as having a minor impact on its heritage significance.
- Removal of vegetation will create a change, but it is intended that the Redi-Rock construction will blend into the existing natural environment with time, gaining a more natural appearance. Negligible impact is predicted on the asset via this change in its setting.

To the north the Scheme comprises works on a 1.3km stretch of the river bank, extending downstream from the West Coast Main Line (WCML; and as such from the heritage asset Viaduct over River Ribble [1218908]), in the east, past the Old Penwortham Bridge, and downstream to Liverpool Road Bridge in the west.

The Proposed defenses in 'Area 1: Riversway and Broadgate' are assessed to result in:

- A minor permanent physical impact on Old Penwortham Bridge (as Scheduled Monument and a Grade II Listed Building) from the way the new higher flood wall will tie into the historic fabric of the bridge and its stone parapets. The proposed design would tie the new flood walling into the steps leading onto the bridge (shown on Plate 8). This impact is assessed to be minor as the Scheme will only affect a small portion of its original fabric of the Bridge. .
- Permanent change in the setting of the assets through the changed appearance of the river bank due to the introduction of Redi-rock construction to repair the existing stone revetment, as well as the newly constructed flood wall which will be visible from (and from the vicinity of) the bridge. This impact is assessed as negligible.
- Higher flood walling will create a permanent change in the asset's setting, affecting views and the way this asset is understood, experienced and appreciated (via a change in its setting). This impact is assessed as negligible.
- Temporary changes in the setting of this asset during the construction period due to the presence of construction machinery, compounds and fencing and associated noise and activity in its immediate setting for the period of up to six months. This temporary change to the way this asset is going to be understood, experienced and appreciated is assessed as having a minor impact on its heritage significance.
- Removal of vegetation will create a change in the setting of this assets, but it is intended that the Redi-rock construction will blend in to the existing natural environment with time, gaining a more natural appearance. Negligible impact is predicted on the asset via this change in its setting.

Consequently, negligible to minor temporary and negligible to minor permanent impacts on this high value heritage asset are predicted and as such the Scheme, once complete, is considered to have a slight adverse significance of effect on the cultural heritage value (significance) of this asset both temporarily and permanently. Following the DMRB guidance (Highways Agency, 2007) this is not considered a significant (moderate to very large) effect, and therefore is not considered to be a significant impact or substantial harm (cf. NPPF paras. 193 to 197).

Viaduct over River Ribble (NHLE ID: 1218908)

The Scheme via the proposed defenses in 'Area 1: Riverside and Broadgate' would result in:

- Direct physical impact on this Grade II Listed Building. This impact would arise from the introduction of the proposed flood gate and floodwall underneath and adjoining the northernmost viaduct arch, where the viaduct reaches over the riverside road which enters Miller Park (RPG1) from west. The proposed design would create a physical tie-in between the stone viaduct abutment and the new flood gate installation. Please refer to drawing: ENV0000009C-JAC-DW-41X-DR-S-0003 for details. This impact would be permanent in nature. However due to the character and substantial scale of this asset as a feat of 19th century railway engineering, the scale of change introduced by the Scheme is assessed to have a negligible impact on the heritage significance of this asset.
- The proposed flood gate and flood walling would be installed to the west of the northernmost viaduct arch, where the viaduct reaches over the riverside road which enters Miller Park (RPG1) from west. This impact would be permanent in nature. However due to the character and substantial scale of this asset as a feat of 19th century railway engineering, the scale of change introduced by the Scheme is assessed to have a minor impact on this heritage asset as the Scheme may remove or tie into some historic fabric of the Grade II listed structure. Please refer to drawing ENV0000009C-JAC-ZZ-41C-DR-C-0001 for details of the arrangement of the proposed flood gates and walling to the west of WCML (West Coast Main Line).
- Higher and more extensive flood walling to the south-west and underneath of the asset will create a permanent change in the asset's setting affecting views to and from the Railway Viaduct. However due to the character and substantial scale of this asset as a feat of 19th century railway engineering, the scale of change introduced by the Scheme is assessed to have at most negligible impact on the heritage significance of this asset.
- Temporary impact through changes in the setting of this asset during the construction period. This impact would arise from the presence of construction machinery, compounds and fencing and associated noise and activity (including movement of plant and machinery) its wider setting (Avenham Conservation Area; RPG1) for the period of two months. This temporary impact on the way this asset is understood, experienced and appreciated is assessed as negligible.
- Removal of vegetation – temporary negligible impact on the way this asset is understood, experienced and appreciated (via a change in its setting).

Consequently, negligible temporary and slight permanent impacts on this medium value heritage asset are predicted and as such the Scheme is considered not to cause a significant effect or substantial harm (cf. NPPF paras. 193 to 197) on the cultural heritage value (significance) of this asset.

Neutral or No Impact Predicted:

Avenham Park (RPG 2)

Due to the physical and visual separation created by the railway embankment separating RPGs 1 and 2 and the siting of the Scheme c.a. 270m to the west/south-west of this embankment, it is assessed that the Scheme would not adversely affect this asset (impact of 'no change'). Thus the effect of the Scheme on this high value asset is assessed to be neutral.

Bridge at South End of Railway Embankment Between Avenham Park and Miller Park (1279843)

The existing land-form, landscaped features, mature vegetation and the presence to the railway embankment separating the main part of RPG1 from the smaller section to the north west of the Viaduct over the River Ribble Listed Building means that there is no intervisibility between this asset and the Scheme and as such the effect of the Scheme is assessed to be negligible to none.

Whilst during the construction period there may be some minor disruption around the construction area in the vicinity of WCML; this temporary activity is assessed as having at most a negligible impact on the significance of this medium value asset. Thus the effect of the Scheme on this assets is assessed to be neutral.

Railway Bridge Over Drive Between Avenham Park and Miller Park (1279844)

Due to the distance of the Scheme c.a. 270m to the south-west of this bridge, as well as the visual separation created by existing vegetation and landform, it is assessed that the Scheme would not adversely affect this asset (impact of 'no change'). Thus the effect of the Scheme on this medium value asset is assessed to be neutral.

The nine Listed Buildings within Miller Park RPG:

The existing land-form, landscaped features, mature vegetation and the presence to the railway embankment separating the main part of RPG1 from the smaller section to the north west of the Viaduct over the River Ribble Listed Building means that there is no intervisibility between this asset and the Scheme and as such the effect of the Scheme is assessed to be negligible to none.

Whilst during the construction period there may be some minor disruption around the construction area in the vicinity of the Railway Viaduct over River Ribble this temporary activity is assessed as having at most negligible impact on the significance of these medium value assets. Thus, the effect of the Scheme on these nine assets is assessed to be neutral.

6. Conclusion and Recommendations

Aspects of the proposed works associated with the Scheme are sited within Avenham Conservation Area and Miller Park Grade II* Registered Park and Garden and would physically impact on two Listed Buildings (the Viaduct over River Ribble and Penwortham Old Bridge). Where the flood defence scheme impacts upon the designated heritage assets identified within this Heritage Statement the appropriate consents will be sought in consultation with the appropriate heritage stakeholders. The consultation will continue with key heritage stakeholders during the finalization of the design of scheme elements which interface with designated heritage assets and/or whose design could impact upon the setting of designated heritage assets.

Negligible to minor temporary and negligible to minor permanent impacts are assessed on two medium value assets; Avenham Conservation Area and the Viaduct over River Ribble. The significance of effect of these impacts is assessed to be slight to neutral.

Negligible to minor temporary and negligible to minor permanent impacts are assessed on two high value assets; Miller Park (RPG1) and Old Penwortham Bridge. The significance of effect of these impacts (both temporary and permanent) is assessed to be slight.

These are not considered significant (moderate or above effects) and equate to less than substantial harm (cf. NPPF paras. 193 to 197).

Once the Scheme is completed, no significant (moderate to very large) permanent adverse effects on the special architectural and historical interest of any of the designated assets discussed in this report are predicted.

Mitigation in the form of Level 2 building recording (Historic England, 2016) is proposed for Penwortham Old Bridge in line with national and local historic environment policy and guidance and established best professional practice.

Avenham and Miller Parks (RPG 1 and 2) are and have always been sited on the flood plane of the River Ribble and do by this very fact periodically experience some flooding – the Scheme is not intended to change this historical and topographical fact.

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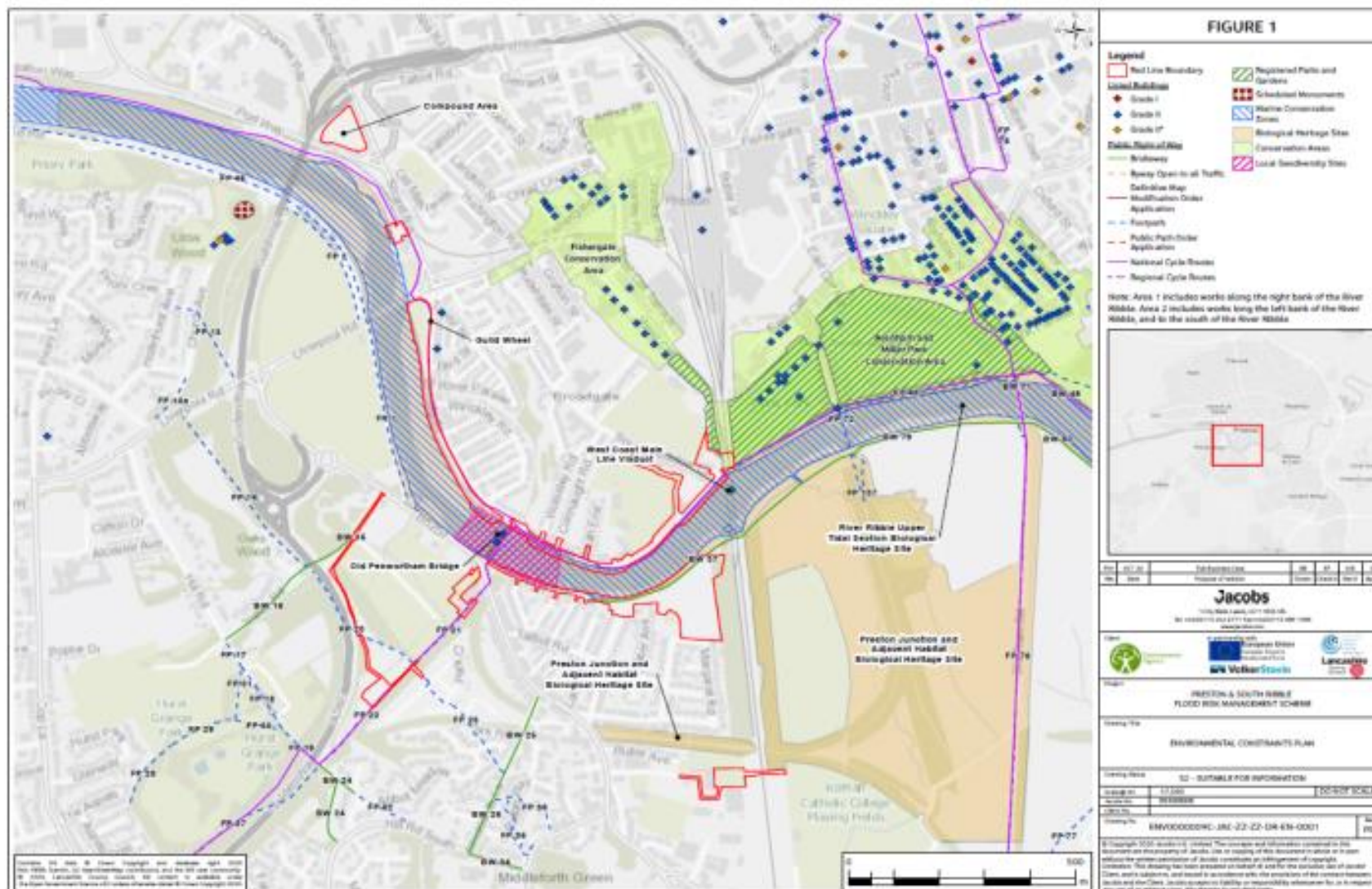
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Appendix A. Figure



Appendix B. Full Listing Descriptions of Miller and Avenham Parks

B.1 Miller Park

Summary

A public park designed by Edward Milner in 1864 incorporating a riverside walk which had been laid out 1847-9. The park retains all the essential elements of the 1864 design with the exception of the Derby Monument, which replaced the original arcaded shelter in 1873. The shelter, called the Belvedere, was relocated in Avenham Park (qv).

Reasons for Designation

Miller Park, Preston, opened in 1864, is designated at Grade II* for the following principal reasons: * Date: the park is an early example of a municipal park; * Design: although enhanced, the park's design is essentially unchanged from its original layout; * Designer: the park was designed by the leading landscape designer Edward Milner, incorporating a riverside walk of 1847-8; * Historic interest: the park was developed by Preston Corporation for recreational purposes taking in the earlier walks, the railway alongside which was provided with ornamental structures; * Structures and planting: the park retains various listed C19 structures; * Group value: it lies alongside Avenham Park, also by Milner.

History

Preston Corporation had started to develop land in the area for recreational purposes by stipulating that the railway bridges across the site of c 1846 should be treated ornamentally. A tree-lined walk was laid out along the banks of the River Ribble after the railway was constructed. Miller Park was laid out in 1864 to the design of Edward Milner (1819-84), on land acquired for the purpose by Alderman Miller, and the work was supervised by George Rowbotham.

In 1869-76 the line of the Tram Road was incorporated into the design of the park after its closure resulting in the relocation of the Belvedere after the construction of the Derby Memorial. Then between 1877-82 Milner was asked to draw up new proposals as the North Western Railway (formerly North Union) was widened, these include the rockwork and pools that still remain. The entrance to West Cliff and the Lodge were also constructed after the acquisition of the land.

The park went through an extensive restoration programme in the early C21, restoring the park back to its original design and removing insensitive later additions. This included the removal of a modern toilet block and the restoration of the rockwork as according to the 1893 OS plan. The waterfall to the west rockwork has been restored and is in full working order. The park gates and railings were also restored, with missing areas replaced.

Details

LOCATION, AREA, BOUNDARIES, LANDFORM, SETTING

Miller Park is situated c 1km south of Preston town centre, on land occupying c 3ha which slopes southwards down to the River Ribble. The river forms the site's southern boundary. The east and west boundaries are formed by railway embankments. The northern boundary is formed by a stone wall which has balustrading in front of the former Park Hotel, now used as the County Council Offices,

which overlooks the park. The railway embankment on the east side separates Miller Park from Avenham Park (qv), which was also designed by Milner. The two parks are linked by bridges at each end of the embankment and continuity between the two sites is given by the views along the shared riverside walk. On the south side of the River Ribble there are playing fields with open land beyond; these form part of the setting and can be seen in views looking south from the park.

ENTRANCES AND APPROACHES

There are four entrances to the park, all leading beneath bridges at each end of the railway embankments which form the east and west boundaries of the site. The principal entrance is from West Cliff. At the southern end of this street there is a pair of brick gate piers with stone carvings of the Agnus Dei (from the town's coat of arms) in gabled canopies. Immediately to the west of the gateway there is a brick-built gabled lodge. A tree-lined path runs south-eastwards to the railway embankment where it divides; ahead to the east there is an entrance to the park beneath a railway bridge with a decorative cast-iron parapet. Another path leads off to the south along the line of the embankment which is planted with trees and lined with rockwork. This leads beneath a sandstone railway bridge and joins with another path leading into the park from Riverside.

The eastern railway embankment, dividing Miller Park from Avenham Park, has a bridge at each end forming entrances from Avenham Park. The northern bridge (c 1846, listed Grade II) is of stone with a stone parapet. The southern bridge (c 1846, listed Grade II) carries the railway over the riverside walk and is linked with a viaduct which carried the railway over the Ribble.

GARDENS AND PLEASURE GROUNDS

The central part of Miller Park is strongly formal in character and there are less formal areas at the north-east and north-west corners of the site.

Three terraces have been laid out on sloping land on the north side of the site. The central terrace, which forms the main axis and focus of the park, consists of a broad path which has on its south side, at the edge of the terrace, a range of plinths supporting ornamental urns (all listed Grade II). In the centre of the terrace on the northern side of the path there is a statue of the fourteenth Earl of Derby (Matthew Noble 1873, listed Grade II), which is known as the Derby Monument. In front of this a balustraded double staircase leads down to the terrace below. From this point the stair continues as a single, wide flight of steps down to formal lawns and a circular pool with an ornate fountain (c 1865, listed Grade II) which is aligned with the stair and situated c 80m south of the Derby Monument. Some 10m south of this there is a garden with formal beds surrounded by a beech hedge in which is situated a bandstand. This garden was created and the bandstand introduced in the late C20.

The land slopes up steeply to the north of the Derby Monument. Rustic steps lead up on either side of the statue and join to form a single flight of steps up the slope, mirroring in an informal manner the formal staircase on the terraces below.

There is an area of rockwork consisting of large, naturalistically arranged stone slabs and boulders along the western side of the site against the railway embankment. A path leads off south-westwards from the northern railway bridge entrance, through a rockwork arch and on through rockwork and pools. The path emerges from the rockwork to skirt planting on the railway embankment and continues southwards to join with the riverside walk. An area east of the rockwork, c 150m south-west of the Derby Monument, has been laid out with formal beds around a spiral-shaped path with a sundial at the centre. This arrangement conforms with the layout shown on the 1893 OS map.

There is another, less extensive area of rockwork which extends c 50m southwards along the embankment from the northern entrance into Avenham Park. Here there are stone steps leading up to a seat set into the embankment and paths leading through a rockwork arch. Thick planting screens the remainder of the embankment.

The park also contains examples of Pulhamite rockwork, designed by James Pulham, including a waterfall, cliffs, a rocky pond and a drinking fountain.

Historic England (2020 online) National Heritage List for England available online from <https://historicengland.org.uk/listing/the-list/>

B.2 Avenham Park

Summary

A public park designed by Edward Milner and laid out in 1861 incorporating an existing riverside walk which had been laid out 1847-9. The park retains all the essential elements of the 1861 design.

Reasons for Designation

Avenham Park, Preston, opened in 1861, is designated at Grade II* for the following principal reasons: * Date: the park is an early example of a municipal park; * Design: although enhanced, the park's design is essentially unchanged from its original layout; * Designer: the park was designed by the leading landscape designer Edward Milner, incorporating a riverside walk of 1847-8; * Historic interest: the park was developed by Preston Corporation for recreational purposes taking in the earlier walks, the railway alongside which was provided with ornamental structures; * Structures and planting: the park retains various listed C19 structures and a Boer War memorial, as well as mature planting; * Group value: it lies alongside Miller Park, also by Milner.

History

Preston Corporation had started to develop land for recreational purposes during the 1840s by stipulating that the railway along the west side of the site should have ornamental bridges and by laying out a tree-lined riverside walk along the banks of the River Ribble. Land was purchased for the park by Preston Corporation in 1852. Avenham Park was laid out in 1861 to the design of Edward Milner (1819-84) and the work was supervised by George Rowbotham.

The park underwent an extensive restoration project funded by the Heritage Lottery Fund (HLF) in early C21 to restore it back to its original design and to remove any insensitive additions. This included the restoration and replacement, where lost, of the park's railings, the refurbishment of the entrance lanterns, replacement of some of the chestnut trees, the restoration of the Japanese Garden and Belvedere and the construction of a new pavilion.

Details

LOCATION, AREA, BOUNDARIES, LANDFORM, SETTING

Avenham Park lies on the southern edge of Preston overlooking the River Ribble, c 1km south of the town centre. The c 8ha site slopes down steeply from the northern and north-western boundaries to the River Ribble which forms the southern boundary. The western boundary is formed by a railway embankment which separates the park from Miller Park (qv). The rising land on three sides gives the park an amphitheatre-like shape. The northern boundary is formed by a stone wall dividing the park from gardens to houses on Ribblesdale Place. The eastern boundary is formed by a stone retaining wall along the edge of Avenham Walk (qv) and the south-eastern part by the fenced edge of gardens running south from Bank Parade. The extreme south-east corner of the site merges with public open

space in an area called Frenchwood Knoll which continues along the riverbank to the east. Views of the river and open agricultural and recreational land beyond can be obtained by looking south from most of the northern part of the park.

ENTRANCES AND APPROACHES

The principal entrance to the park is from Ribblesdale Place, and is marked by stone gate piers. This connects with a broad path which runs across the north-west side of the site and is aligned with a railway bridge (c 1846, listed Grade II) leading through to Miller Park. The bridge is of stone with a stone balustrade. A gabled lodge with mock timber framing is situated within the park immediately south of the bridge. Another railway bridge (c 1846, listed Grade II) carries the railway over the riverside walk and is linked with a viaduct over the Ribble. It is of brick with rusticated stone dressings and it forms a second entrance from Miller Park at the south-west corner of the site.

An entrance is situated between the Ribblesdale Place entrance and the northern bridge, at the end of East Cliff Road. This is formed by an opening and stone steps. A further entrance leads from an alley, called Avenham Colonnade, between Ribblesdale Place and Avenham Walk. At the extreme south-east corner of the site paths lead east to Frenchwood Knoll, and north to steps up to Avenham Walk. The park can be approached from the south side of the river via the Old Tram Bridge at the south-east corner of the site, and via a footbridge along the railway viaduct which leads to a steep flight of steps running down into the park adjacent to the southern railway bridge.

GARDENS AND PLEASURE GROUNDS

Avenham Park consists of a central area of open grassland sloping southwards down to the riverbank. Belts of trees conceal the boundaries on the north, east and west sides and paths leading through the trees give views over the grassland to the Ribble and beyond. The Ribblesdale Place entrance leads to a broad path running across the north-west corner of the site from which subsidiary paths lead off through the trees to both east and west. The main path leads to a gabled timber-framed shelter c 100m south-west of the entrance. Some 50m south-west of this, on the north side of the path, there is a Boer War memorial in the form of an obelisk (listed Grade II). The path continues west to the northern railway bridge and there are views under the bridge into Miller Park. On the west side of the site, south of the obelisk, was the location of the original Duck Pond, which was altered in 1936, with the removal of the woodland and shrub understorey to be replaced with white waterworn limestone set into the slopes around the lake. The Japanese Garden was also created and is enclosed by iron railings. This consists of an inverted L-shaped pond set amongst extensive artificial rockwork which forms a steep ravine at the north-west end of the garden, and informal terraces and outcrops around the lake on the other sides. The garden is planted with a variety of ornamental trees, and there is a C20 wooden bridge over the lake immediately south of the angle of the L. Thick planting conceals the railway embankment and a small maintenance yard immediately west of the garden.

Some 80m south-east of the Japanese Garden there is a modern pavilion designed by Ian McChesney and opened in 2008, funded by the Heritage Lottery Fund. It contains a cafe, toilets, meeting room and function space. Paths continue south from the garden to join with the tree-lined riverside walk and there are views along the walk under the bridge into Miller Park. A Victorian bandstand, which was replaced in the 1950s, sat on a site to the east of the new pavilion, the later bandstand was demolished as part of the restoration of the park.

The eastern edge of the park is wooded with a network of paths connecting with entrances. The steps down from Avenham Walk lead southwards to two terraces, with steps down to each and thence to the riverbank. At the south-east corner of the site is a drinking fountain (c 1865, listed Grade II) and a path

aligned with the entrance from the Old Tram Bridge runs north through an area of rockwork to an arcaded shelter (1865-6, listed Grade II), called the Belvedere, with a flight of steps immediately before it. The Belvedere, which was originally located in Miller Park, overlooks falling land to the south and west and lies c 60m north of the Old Tram Bridge. Paths continue northwards around the perimeter of the site to a clearing where the path from the Avenham Colonnade entrance joins other paths. At this point a flight of stone steps leads south-westwards down the slope to a path across the open grassland.

The park also contains examples of Pulhamite rockwork, designed by James Pulham, including the waterfall and cave. Pumps are by Green and Carter.

Historic England (2020 online) National Heritage List for England available online from <https://historicengland.org.uk/listing/the-list/>

Appendix C. Gazetteer of Listed Buildings within Miller Park (RPG1)

As outlined in the main text, the following nine individually Listed structures are sited within Miller Park RPG

Derby Monument	NHLE ID: 1218485	Grade: II
<p>Description:</p> <p><i>Monument to the 14th Earl of Derby (d.1869). Dated 1873 on rear of pedestal; by M.Noble of London. Grey polished granite and white marble. Punched granite base; pedestal of grey polished granite, square in section with chamfered corners, approx.4m high, with moulded foot and prominent cornice, the front inscribed: "EDWARD GEOFFREY STANLEY / 14th EARL OF DERBY K.C. / BORN 29th MARCH 1799 / DIED 23rd OCTOBER 1869, and the rear: NORTH AND NORTH EAST / LANCASHIRE / DERBY MEMORIAL / 1873". Statue in Sicilian white marble, approx.3.3m high, depicting the Earl of Derby as if addressing the House of Lords, standing with a scroll in his right hand, his robe of rank removed and draped over a pile of books behind his leg. History: as the Hon. E.G.Stanley before his succession to the title, the subject was MP for Preston 1826-30 and for North Lancashire 1832-44; and subsequently Prime Minister in 1852, 1858-59, and 1866-68. (Monument erected on site formerly occupied by gazebo now in Avenham Park.)</i></p>		
Urn Approximately 2 Metres South West of Terrace Steps on Upper Terrace of Park	NHLE ID: 1291944	Grade: II
<p>Description:</p> <p><i>Garden urn on pedestal. c.1865. Sandstone ashlar pedestal and imitation stone urn now painted white. Pedestal approx.0.5m square and 1.5m high, with moulded base and cap, and panelled sides; large chalice-shaped urn with relief decoration including acanthus leaves, running vines, small figures, and ammonite handles. The item is one of a set of 6 lining the upper terrace.</i></p>		
Urn Approximately 50 Metres South West of Terrace Steps on Upper Terrace of Park	NHLE ID: 1218491	Grade: II
<p>Description:</p> <p><i>Garden urn on pedestal. c.1865. Sandstone ashlar pedestal and imitation stone urn now painted white. Pedestal approx.0.5m square and 1.5m high, with moulded base and cap, and panelled sides; large chalice-shaped urn with relief decoration including acanthus leaves, running vines, small figures, and ammonite handles. The item is one of a set of 6 lining the upper terrace.</i></p>		
Terrace Steps with Balustrades and Urns in Centre of Upper Terrace	NHLE ID: 1218491	Grade: II

Description: <i>Terrace steps with balustrades and urns. c.1865. Sandstone ashlar, the balustrades and urns now painted cream. Upper deck of terrace approx. 10m wide with curved ends (now occupied by flower bed), and rusticated ashlar retaining wall protected by a balustrade with 4 urns, and flanked by lateral winding steps which descend to a lower deck, a straight flight of steps descending further to the lower terrace, these steps protected by matching balustrades with urns.</i>		
Urn Approximately 2 Metres North East of Terrace Steps on Upper Terrace of Park	NHLE ID: 1207311	Grade: II
Description: <i>Garden urn on pedestal. c1865. Sandstone ashlar pedestal and imitation stone urn now painted white. Pedestal approx.0.5m square and 1.5m high, with moulded base and cap, and panelled sides; large chalice-shaped urn with relief decoration including acanthus leaves, running vines, small figures, and ammonite handles. One of a row of 6 lining the upper terrace.</i>		
Urn Approximately 25 Metres South West of Terrace Steps on Upper Terrace Of Park	NHLE ID: 1218613	Grade: II
Description: <i>Garden urn on pedestal. c.1865. Sandstone ashlar pedestal and imitation stone urn now painted white. Pedestal approx.0.5m square and 1.5m high, with moulded base and cap, and panelled sides; large chalice-shaped urn with relief decoration including acanthus leaves, running vines, small figures, and ammonite handles. The item is one of a set of 6 lining the upper terrace.</i>		
Fountain in Pond Approximately 65 Metres South East of Derby Monument	NHLE ID: 1279801	Grade: II
Description: <i>Ornamental fountain in circular pond. Probably c.1865. Pond approx. 20m in diameter, with moulded sandstone ashlar rim. Fountain in the centre, of imitation stone and Longridge stone, Greek cross plan; 2-step base channelled to represent water-wear, and on this a large pedestal composed of 4 female figures emblematic of Earth, Air, Fire, and Water, seated in inverted brackets, the angles between them filled with a shell, rush, and trident design, and the whole surmounted by a large shell-like basin.</i>		
Urn Approximately 25 Metres North East of Terrace Steps on Upper Terrace of Park	NHLE ID: 1279802	Grade: II
Description: <i>Garden urn on pedestal. c.1865. Sandstone ashlar pedestal and imitation stone urn now painted white. Pedestal approx. 0.5m square and 1.5m high, with moulded base and cap, and panelled</i>		

sides; large chalice-shaped urn with relief decoration including acanthus leaves, running vines, small figures, and ammonite handles. The item is one of a set of six lining the upper terrace.

Urn Approximately 50 Metres
North East of Terrace Steps on
Upper Terrace of Park

NHLE ID: 1207312

Grade: II

Garden urn on pedestal. c.1865. Sandstone ashlar pedestal and imitation stone urn now painted white. Pedestal approx. 0.5m square and 1.5m high, with moulded base and cap, and panelled sides; large chalice-shaped urn with relief decoration including acanthus leaves, running vines, small figures, and ammonite handles. The item is one of a set of six lining the upper terrace.